

## Gus's Diner

710 E. Verona Ave., Verona,  
WI



View to South East

**Architecture :**

**Dimension IV - Madison Design Group**

6515 Grand Teton Plaza, Suite 120, Madison, WI 53719  
p: 608.829.4444 www.dimensionivmadison.com

**Civil Engineer :**

**Professional Engineering, LLC**

818 N. Meadowbrook Ln., Waunakee, WI 53597  
p: 608.849.9378 www.pe-wi.com

**Landscape Architect :**

**Paul Skidmore Landscape Architect, LLC**

13 Red Maple Trail, Madison WI 53717  
p: 608.826.0032

SITE LOCATION



PROJECT SITE MAP

**SHEETS:**

Cover Sheet  
CSM  
Site Plan  
Grading Plan  
Erosion Control Plan  
Utility Plan  
Landscape Plan  
Floor Plan  
Elevations 1  
Elevations 2  
Exterior Views  
Project Description  
Project Team

# CERTIFIED SURVEY MAP

LOT 1, CERTIFIED SURVEY MAP NO. 12482  
 LOCATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 14, T6N, R8E  
 CITY OF VERONA, DANE COUNTY, WISCONSIN

ALUMINUM MONUMENT  
 NW CORNER  
 SECTION 14, T6N, R8E  
 WISCONSIN STATE  
 PLANE COORDINATES  
 N 365,354.99  
 E 2,127,414.75

(S88°44'34"E 355.71'  
 S88°45'00"E 355.63'

**LOT 1**  
 108,068 SQ. FT.

(N00°29'43"E)  
 415.16'

297.98'

(N00°27'58"E)  
 415.16'

UNPLATTED LANDS

418.42'

55' RADIUS  
 PUBLIC TEMPORARY  
 TURN AROUND  
 EASEMENT TO BE  
 RELEASED WHEN  
 KEENAN COURT IS  
 EXTENDED WEST

KEENAN COURT  
 DEDICATED TO THE PUBLIC  
 (N 89°08'46" W 67.91'  
 (N 89°08'33" W 67.66')

776.18'  
 CENTERLINE OF 40' WIDE  
 ACCESS EASEMENT  
 DOC. NO. 4474756

**LOT 2**  
 36,809 SQ. FT.

1" PIPE  
 WEST 1/4  
 CORNER  
 SECTION 14,  
 T6N, R8E

(N00°32'00"E)  
 431.00'

(N00°31'15"E)  
 431.09'

(N89°28'13"W 158.92'  
 (N89°28'13"W 74.23'

(S00°31'47"W 9.00'

(S00°32'11"W 350.27'

**LOT 3**  
 55,465 SQ. FT.

(N00°31'15"E)  
 431.09'

(N00°32'00"E)  
 431.00'

(N89°28'13"W 158.92'  
 (N89°28'13"W 74.23'

(S00°31'47"W 9.00'

(S00°32'11"W 350.27'

HOMETOWN CIRCLE

UNPLATTED LANDS

UNPLATTED LANDS

LOT 2

MAP NO. 5530

CERTIFIED SURVEY

NO VEHICULAR ACCESS  
 DOC. NO. 4440659

(S89°28'13"E 111.78'

(S00°06'34"E 166.77'

10.43'  
 102.67'  
 294.56'

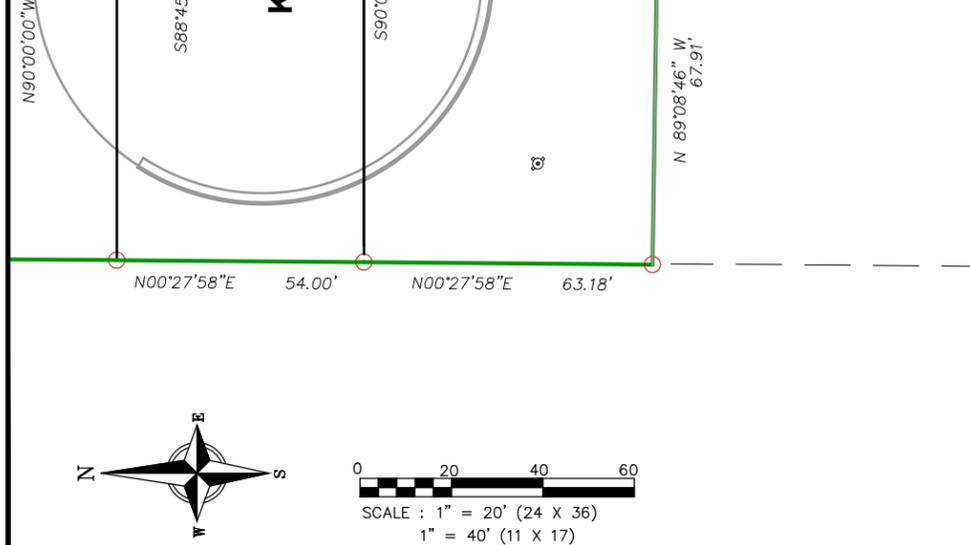
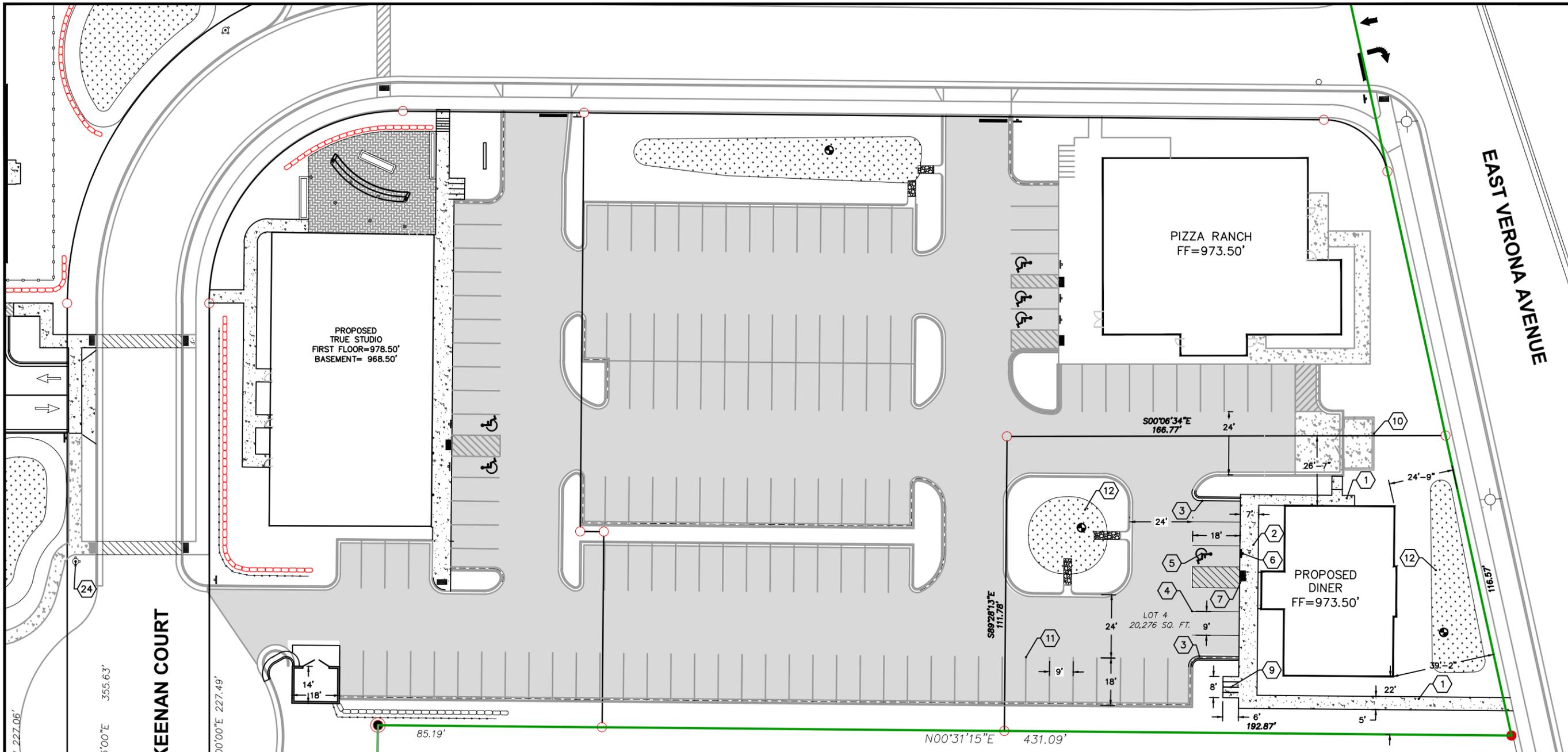
(S77°35'08"W 116.57'  
 (S77°43'26"W 120.00'

36'  
 36'  
 72'

120'  
 190'

EAST VERONA AVENUE

UNPLATTED LANDS



**PLAN KEY**

- 1 CONCRETE SIDEWALK
- 2 RAISED CONCRETE SIDEWALK
- 3 18" CURB AND GUTTER
- 4 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP
- 5 ACCESSIBLE PARKING STALL
- 6 ACCESSIBLE PARKING SIGN, TYP.
- 7 6" STEP
- 8 CURB RAMP, TYPE 1 WITH DETECTABLE WARNING FIELD, TYP.
- 9 U-SHAPED SURFACE MOUNTED BICYCLE RACKS (MADRAX U190-SF-G) ACCESSIBLE STALL, TYP.
- 10 EXISTING DUMPSTER ENCLOSURE
- 11 EXISTING STRIPING (PARKING), TYP.
- 12 EXISTING BIORETENTION AREA

**KEY**

- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- BIORETENTION

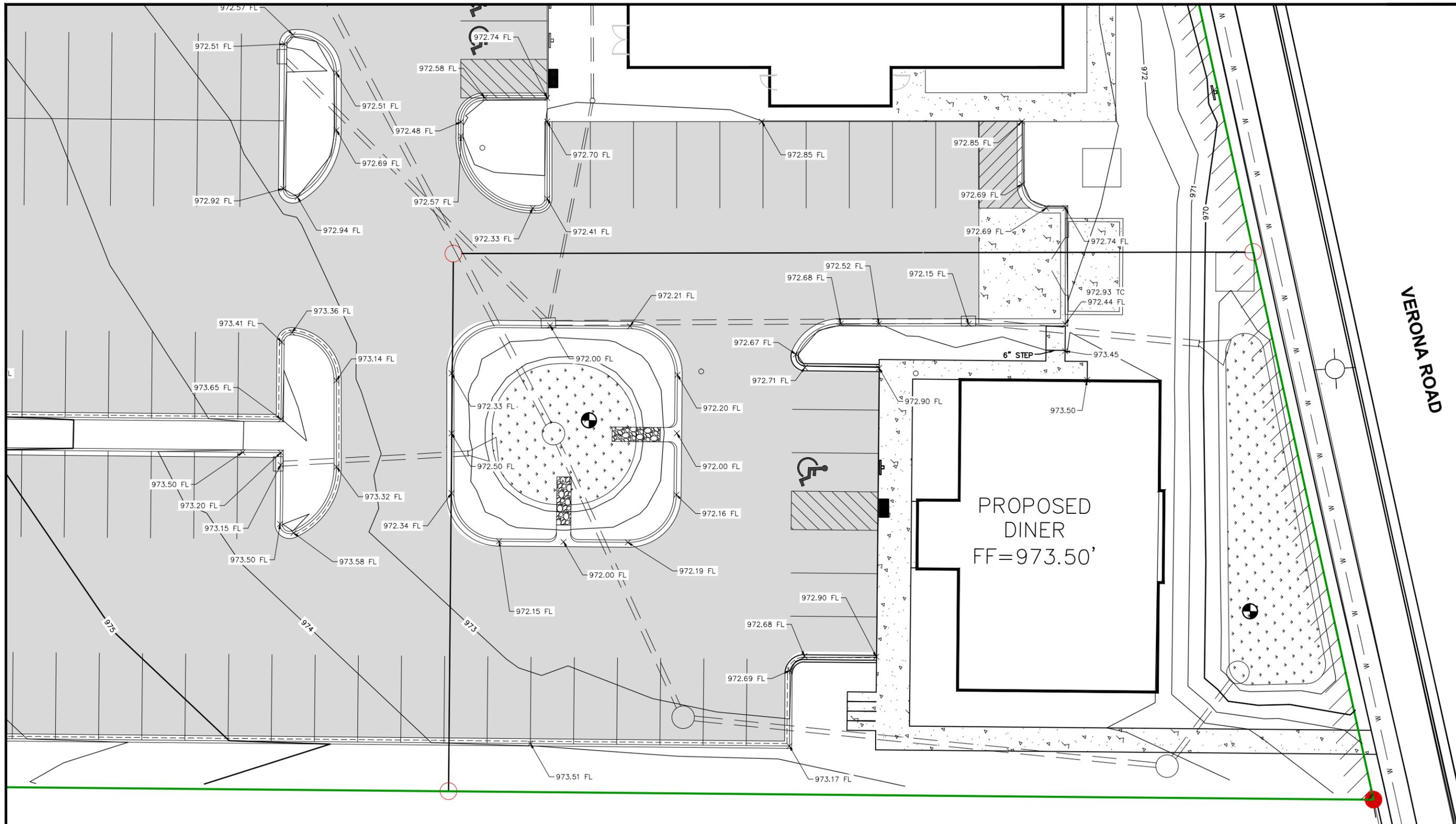
ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	07/07/16

818 N Meadowbrook Ln  
 Waunakee, WI 53597  
 phone (608) 849-9378  
 fax (608) 237-2129

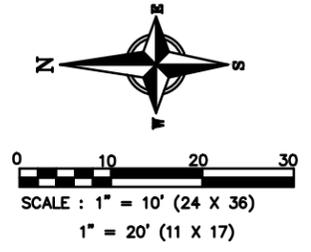
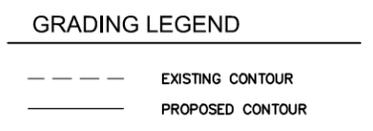
**PROFESSIONAL ENGINEERING LLC**

**GUS'S DINER**  
**SITE PLAN**  
 EAST VERONA AVENUE  
 VERONA, WISCONSIN

**C101**



- GRADING NOTES**
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
  2. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
  3. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
  4. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
  5. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.



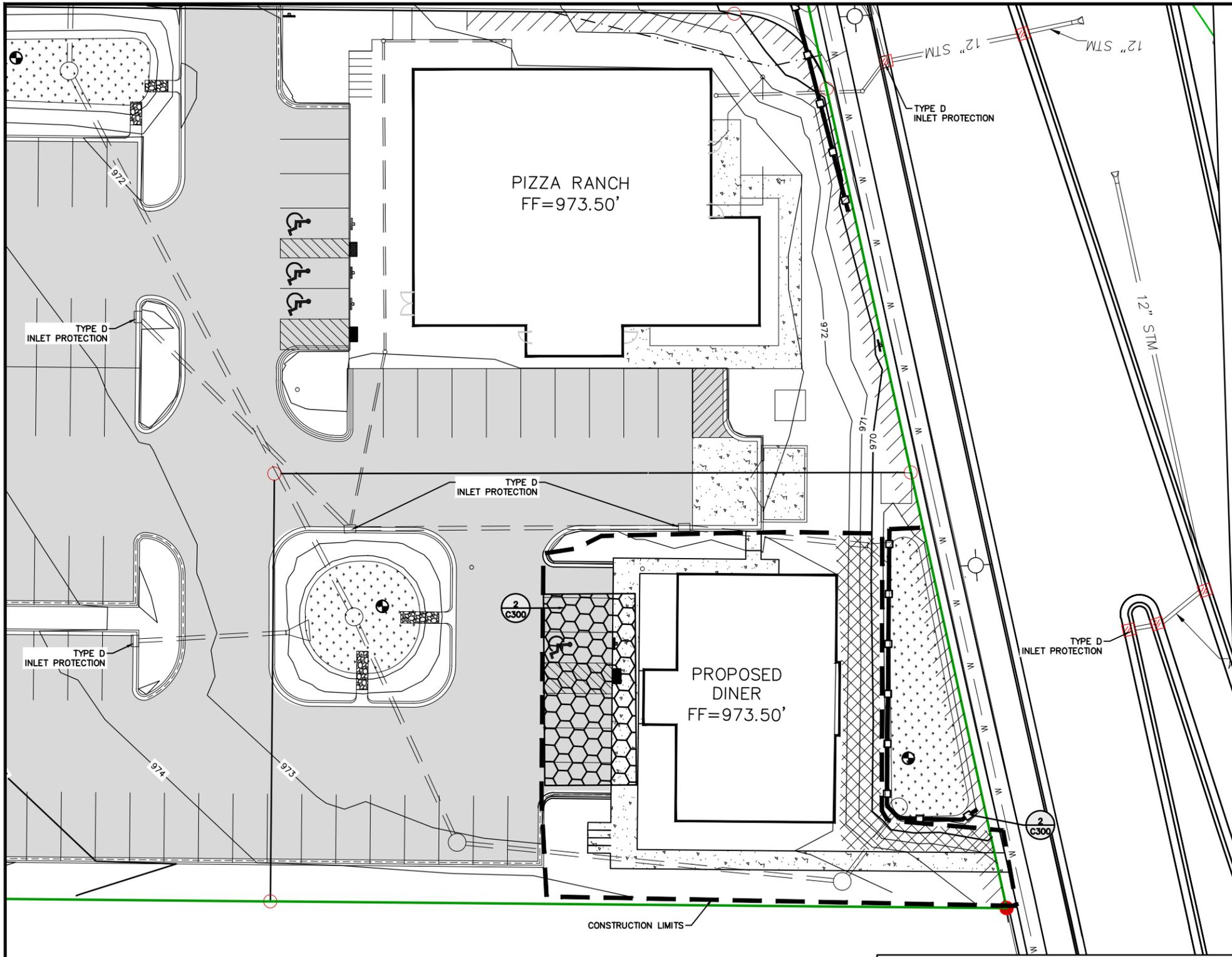
ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	07/07/16

818 N Meadowbrook Ln  
 Waunakee, WI 53597  
 phone (608) 849-9378  
 fax (608) 237-2129

**PROFESSIONAL ENGINEERING LLC**

**GUS'S DINER GRADING PLAN**  
 EAST VERONA AVENUE  
 VERONA, WISCONSIN

**C201**

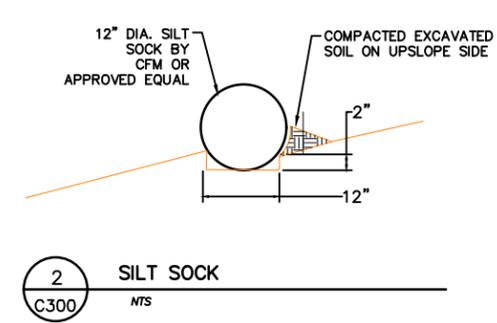
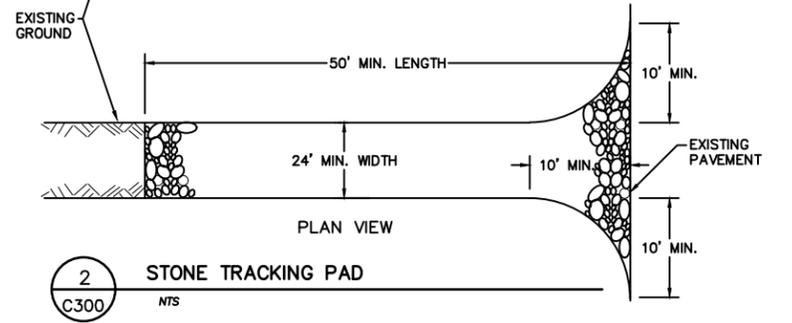
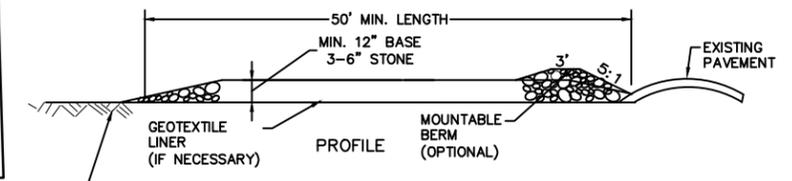


**EROSION CONTROL NOTES**

- (1) THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- (2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- (3) CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
- (4) RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE TOWN.
- (5) INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- (6) STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-6 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, STONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
- (7) INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH TYPE D INLET PROTECTION OR APPROVED EQUAL. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
- (8) EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, URBAN, TYPE B, EROSION MAT.
- (9) TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- (10) STABILIZATION. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
- (11) TOPSOIL. A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.
- (12) SEEDING. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 LBS PER 1,000 SF OF AREA OR AS NOTED ON THE LANDSCAPE PLAN.
- (13) STOCKPILES. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
- (14) POLYMER. BARE SOILS TO BE EXPOSED OVER WINTER SHALL BE SPRAYED WITH POLYMER IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1050.

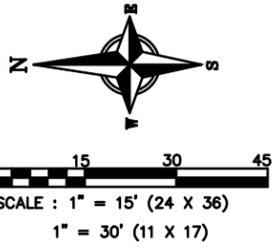
**KEY**

WISCONSIN DOT CLASS 1, TYPE B, EROSION MAT



**2 SILT SOCK**  
C300 NTS

**2 STONE TRACKING PAD**  
C300 NTS



ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	07/07/16

818 N Meadowbrook Ln  
Wauwatosa, WI 53597  
phone (608) 849-9378  
fax (608) 237-2129

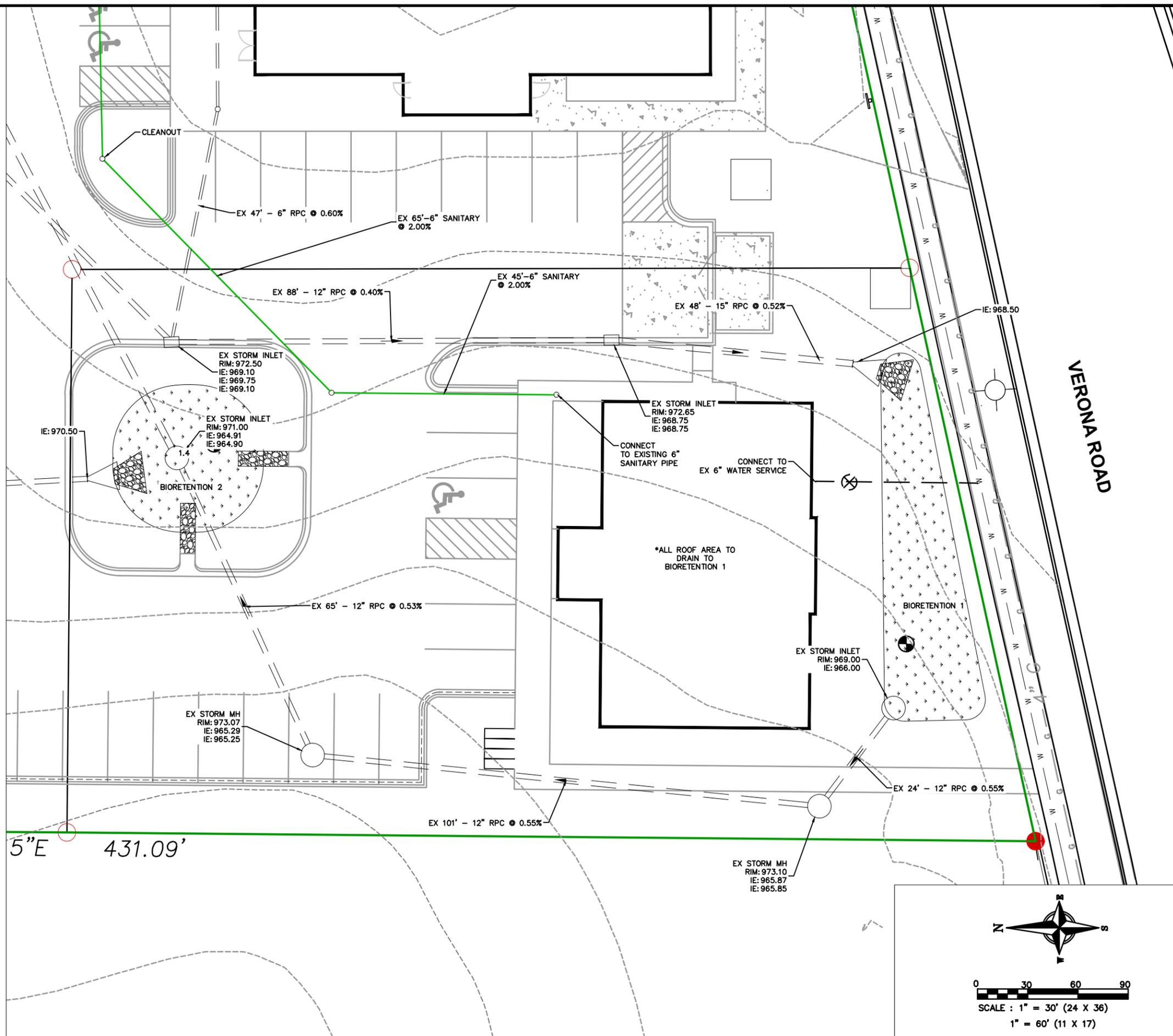


**GUS'S DINER**  
**EROSION CONTROL PLAN**  
EAST VERONA AVENUE  
VERONA, WISCONSIN

**C300**

**UTILITY NOTES**

- CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR CITY UTILITY RECORDS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF VERONA CONSTRUCTION STANDARDS FOR SANITARY SEWER, WATER MAIN AND STORM SEWER CONSTRUCTION, DECEMBER 2014 EDITION AND THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
- ALL STORM SEWER PIPE TO BE ADS N-12 OR RCP CLASS III REINFORCED CONCRETE WITH RUBBER GASKETS AS NOTED ON THE STORM SEWER SCHEDULE.
- CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
- WATER SERVICES 4" AND LARGER SHALL BE DUCTILE IRON, CLASS 52. WATER SERVICES 2" AND SMALLER SHALL BE TYPE "K" COPPER.
- SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
- ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
- CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
- UTILITIES SERVING PROPOSED BUILDING(S) SHALL BE STUBBED INTO THE PROPOSED BUILDING(S) A MIN. OF 5' AND STAKED.
- ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
- STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
- BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.



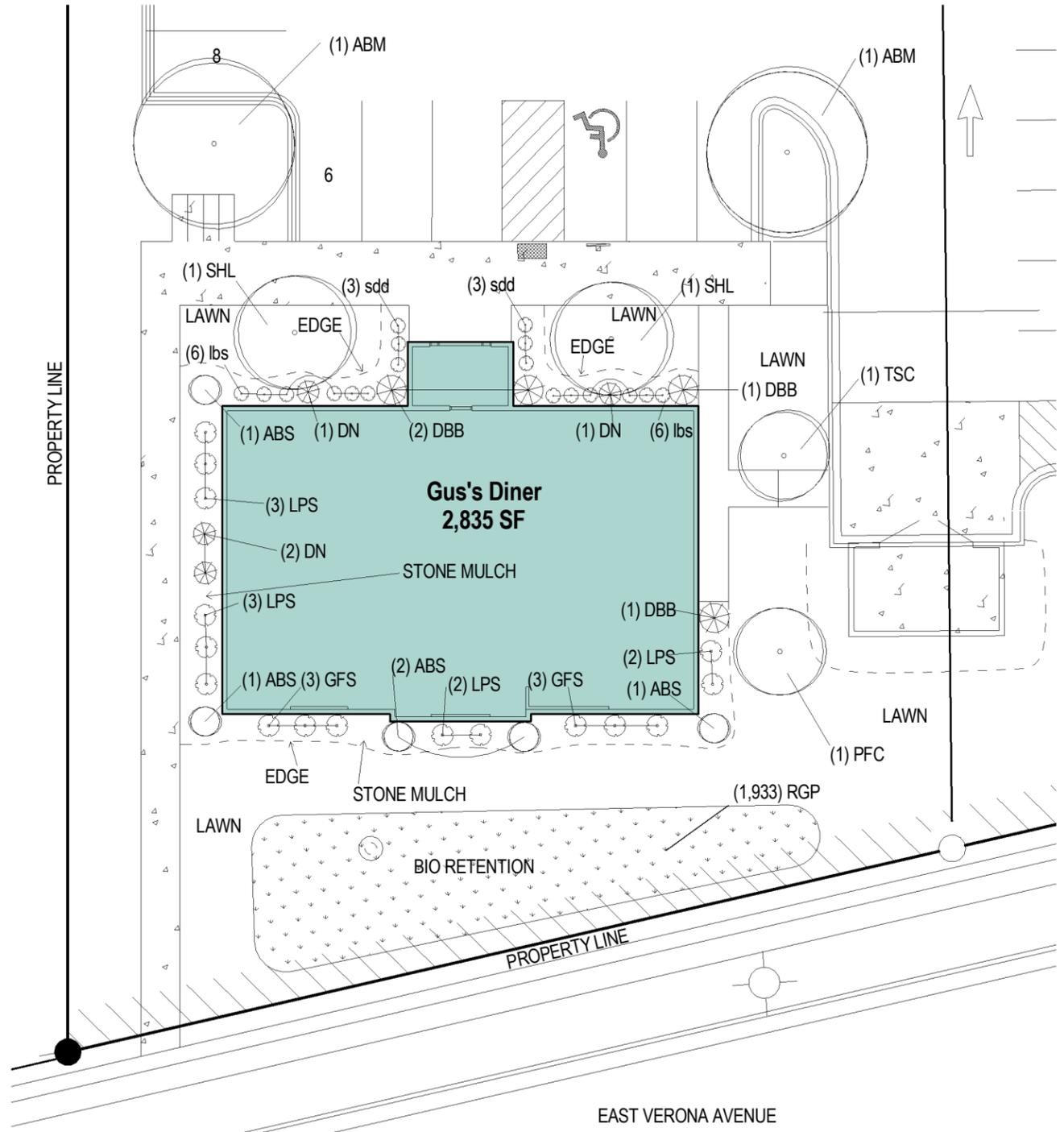
ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	07/07/16

818 N Meadowbrook Ln  
 Waunakee, WI 53597  
 phone (608) 849-9378  
 fax (608) 237-2129

**PROFESSIONAL ENGINEERING** LLC

**GUS'S DINER**  
**UTILITY PLAN**  
 EAST VERONA AVENUE  
 VERONA, WISCONSIN

**C400**



PLANT LIST					
KEY	QUAN	SIZE	COMMON NAME	ROOT	
CH	(4)	2 1/2"	<u>Canopy Deciduous Trees</u>	BB	
	4		Common Hackberry		
ABM	(8)	2 1/2"	<u>Tall Deciduous Trees</u>	BB	
	2		Autumn Blaze Maple		
	4		River Birch Clump		
	2		Skyline Honey Locust		
PFC	(3)	2"	<u>Low Deciduous Trees</u>	BB	
	2		Prairie Fire Crab		
TSC	1	2"	Tina Sergeant Crab	BB	
ABS	(5)	4'	<u>Tall Deciduous Shrubs</u>	BB	
	5		Autumn Brilliance Serviceberry		
	(28)		<u>Medium Deciduous Shrubs</u>		Pot
	4		Diabole Ninebark		
	4		Dwarf Burning Bush		
10	Dwarf Cranberrybush Viburnum				
7	Bailey's Red Twig Dogwood				
YTD	3	24"	Yellow Twig Dogwood	Pot	
GFS	(16)	18"	<u>Low Deciduous Shrub</u>	Pot	
	6		Gold Flame Spirea		
LPS	10	18"	Little Princess Spirea	Pot	
ABS	(6)	4'	<u>Tall Evergreen Shrubs</u>	BB	
	6		Emerald Arborvitae		
lbs	(18)	1 G	<u>Perennials</u>	Con	
	12		Little Bluestem		
sdd	6	1 G	Stella de Oro Day Lily	Con	
RGP	(1,933)	2 1/2" (Planted 12" on Center)	<u>Bio-retention Plantings</u>	plug	
	1,933		Common Blue Star		
			Bottle Gentine		
			Obedient Plant		
			Columbine		
			Switchgrass		
			Foxsedge		
			Black Eyed Susan		
			Wild Iris		
			Swamp Mildweed		
			White Turtlehead		
			Cardinal Flower		
			Turk's Cap Lily		
			Little Bluestem		
			Canada Wild Rye		
	Nodding Onion				

- NOTES:**
- 1) Lawn areas around building and parking lot to be seeded (Madison Parks seed mix), fertilized, and mulched with straw.
  - 2) Planting beds to be mulched with #2 washed stone to a depth of 3" over weed barrier fabric.
  - 3) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".
  - 4) Designated planting beds to be separated from lawn areas with 5" black vinyl edge.
  - 5) Rain garden to receive cocoa fiber erosion mat.
  - 6) Rain garden plants (RGP) to be installed 12" on center.
  - 7) Rain garden to be constructed per WDNR specifications.

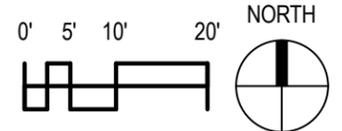
Landscape Worksheet

Zoning District: SC (Suburban Commercial)	
Building Area = 2,835 SF	
Building Area Points required: 10/1,000 SF =	<b>28 points</b>
Building Perimeter = 220 LF	
Building Perimeter Points required: 80/10,000 SF =	<b>88 points</b>
Impervious Area = 9,951 SF	
Impervious Area Points required 80/10,000 SF =	<b>80 points</b>
Lot Street Frontage = 123 LF	
Lot Street Frontage Points required 40/100 LF =	<b>49 points</b>
<b>Total Landscape Points Required</b>	<b>245 points</b>
<b>Landscape Points Supplied</b>	
Canopy trees - 4 @ 70 =	<b>280 points</b>
Tall trees - 8 @ 30 =	<b>240 points</b>
Medium trees - 0 @ 15 =	<b>0 points</b>
Low trees - 3 @ 10 =	<b>30 points</b>
Tall evergreen trees - 0 @ 40 =	<b>0 points</b>
Medium evergreen trees - 0 @ 20 =	<b>0 points</b>
Low evergreen trees - 0 @ 12 =	<b>0 points</b>
Tall evergreen shrubs - 6 @ 3 =	<b>18 points</b>
Low evergreen shrubs - 0 @ 3 =	<b>0 points</b>
Tall deciduous shrubs - 5 @ 5 =	<b>25 points</b>
Medium deciduous shrubs - 0 @ 3 =	<b>0 points</b>
Low deciduous shrubs - 16 @ 1 =	<b>16 points</b>
<b>Total landscape points supplied</b>	<b>609 points</b>

**1 Landscape Plan**  
1" = 20'-0"



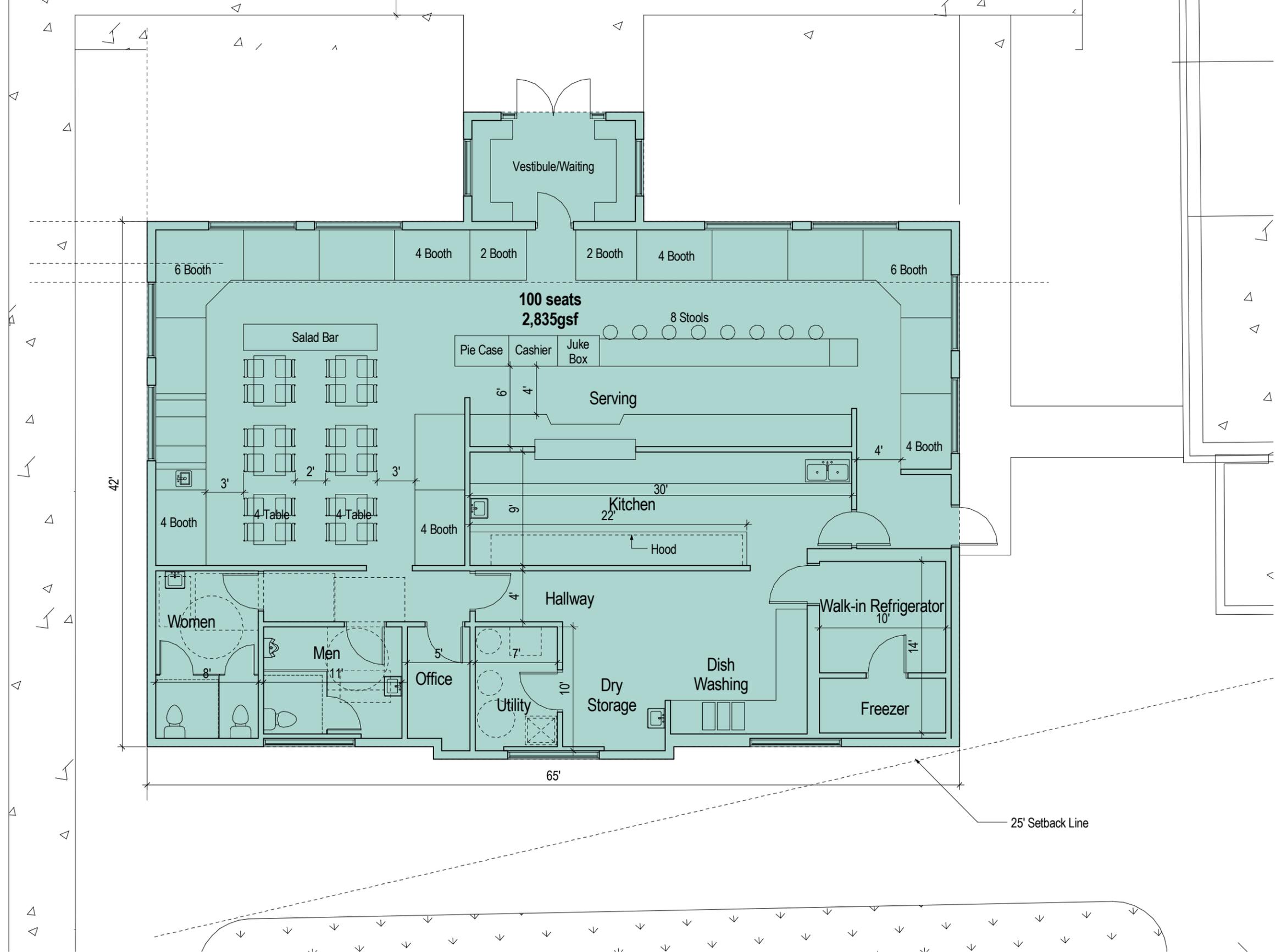
6515 Grand Teton Plaza, Suite 120, Madison, Wisconsin 53719  
p608.829.4444 f608.829.4445 dimensionivmadison.com

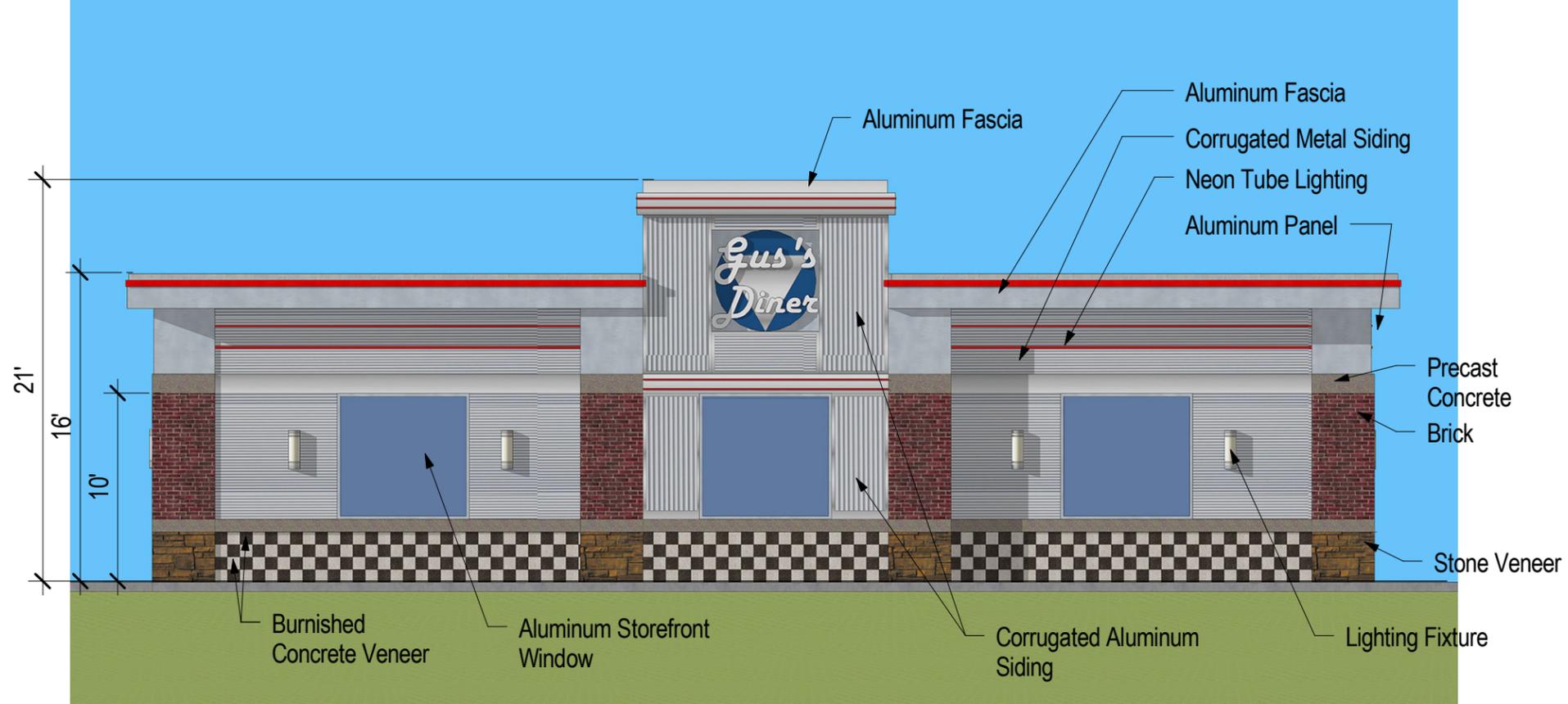


**Gus's Diner**

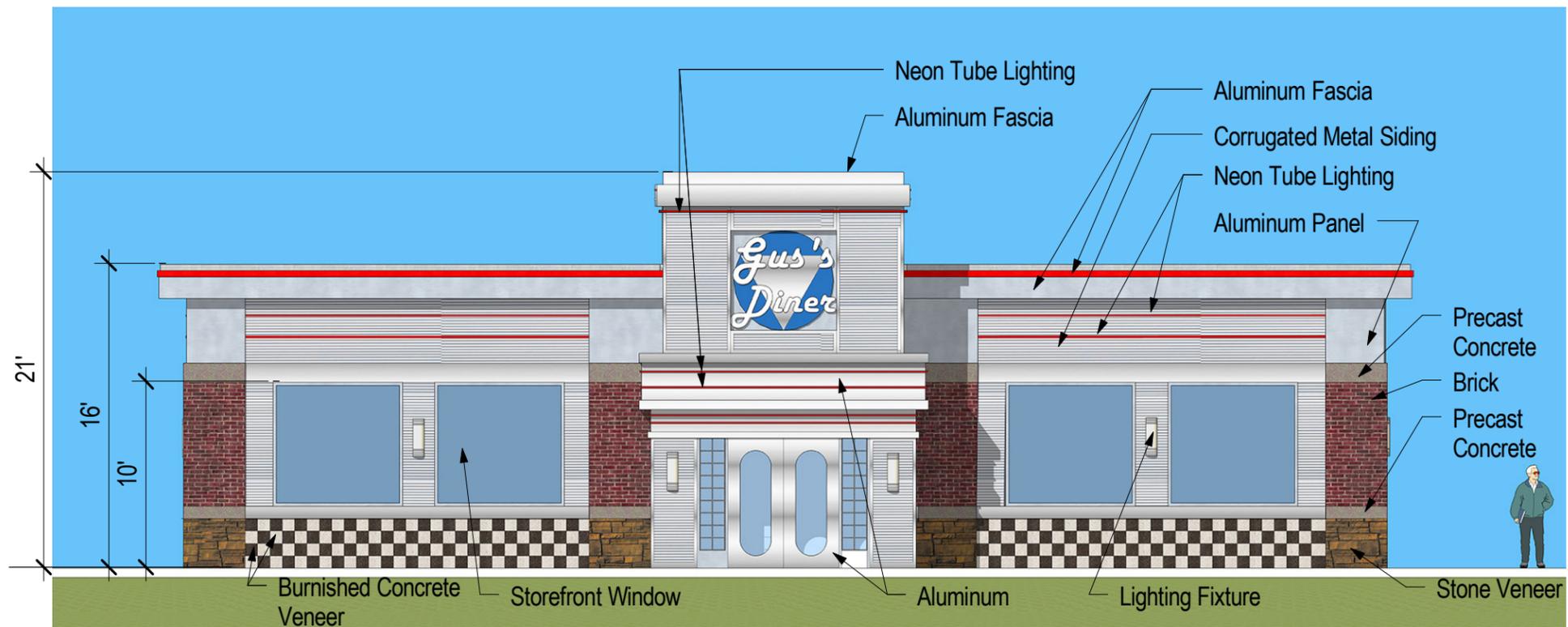
710 E. Verona Ave., Verona, WI

Landscape Plan  
7 July 2016  
16056

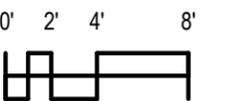




**2** Elevation South (Verona Ave)  
1/8" = 1'-0"

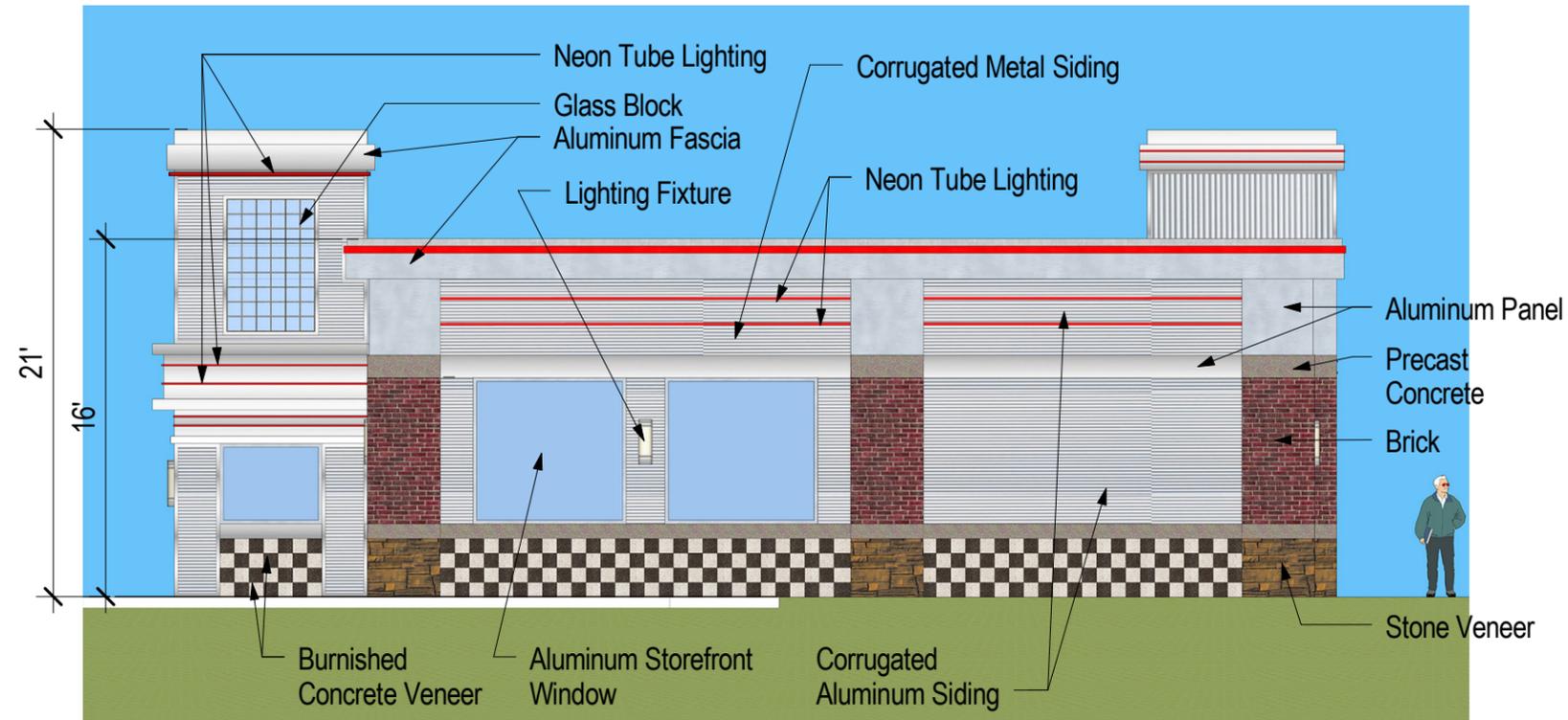


**1** Elevation North (Entry)  
1/8" = 1'-0"

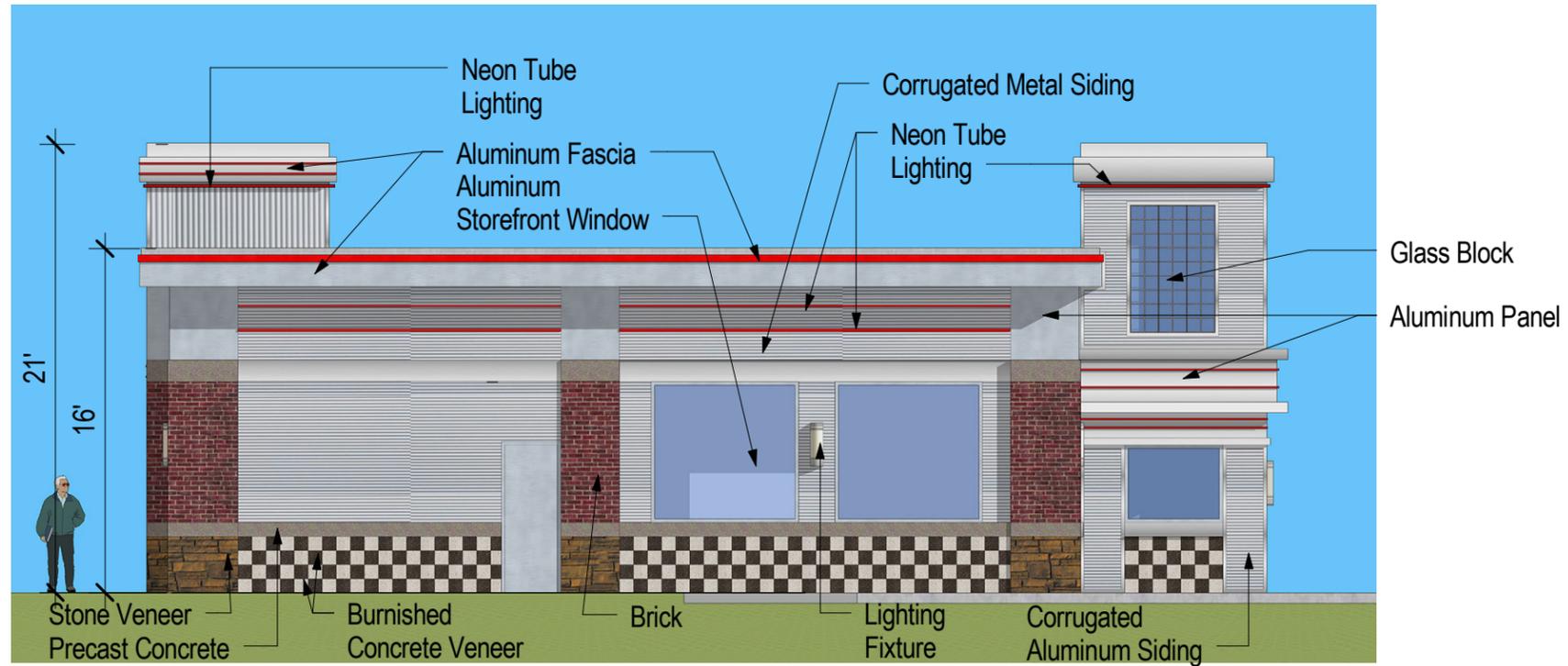


Gus's Diner

E. Verona Ave., Verona, WI

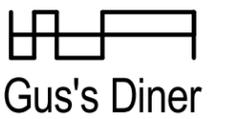


**2** Elevation West  
1/8" = 1'-0"



**1** Elevation East  
1/8" = 1'-0"

0' 2' 4' 8'



E. Verona Ave., Verona, WI



View to SE



View to NW from Verona Ave.

**DIMENSION**   
 Madison Design Group  
 architecture · engineering · interior design

6515 Grand Teton Plaza, Suite 120, Madison, Wisconsin 53719  
 p608.829.4444 f608.829.4445 dimensionvmadison.com

Gus's Diner

710 E. Verona Ave., Verona, WI

Exterior Views  
 7 July 2016  
 16056

County Farm Retail Development  
710 East Verona Road  
Gus's Diner  
Keenan Court  
Plan Submission  
Dim IV Project No. 16056  
July 7, 2016

**Project Description**

County Farm Retail Development

The development is located between Hometown Circle and the Dane County Nursing Home on the east side of Verona. A shared access from East Verona Drive will serve the property and the future rear property. There will be a second exit entrance from the Dane County property until the street is completed in the future.

The development's previous approval included the Pizza Ranch Restaurant and TRUE Studio.

Gus's Diner

Gus's Diner is a family restaurant, serving breakfast lunch and dinner. The interior has a 1950's diner theme. The original Gus's Diner is located in Sun Prairie. This will be their second restaurant. The building will be approximately 2816 GSF, one story building.

6515 Grand Teton Plaza, Suite 120  
Madison, Wisconsin 53719

p 608.829.4444

f 608.829.4445

[dimensionivmadison.com](http://dimensionivmadison.com)

COUNTY FARM RETAIL DEVELOPMENT

Gus's Diner  
710 East Verona Road  
Verona, Wisconsin  
Dim IV Project No. 16056  
July 7, 2016  
Project Team

1. Owner/Developer: County Farm Properties  
5301 Voges Road  
Madison, Wisconsin 53718  
Tim Nietzel
2. Restaurant: Gus's Diner
3. Architect: Dimension IV Madison Design Group  
6515 Grand Teton Plaza, Suite 120  
Madison, Wisconsin 53719  
Jerry Bourquin
4. Civil Engineer: Professional Engineering, LLC  
818 No. Meadowbrook Lane  
Waunakee, Wisconsin 53597  
Roxanne Johnson