



City of Verona

111 Lincoln Street
Verona, WI 53593-1520

www.ci.verona.wi.us

COMMON COUNCIL

MONDAY, JANUARY 13, 2020
7:00 P.M. VERONA CITY CENTER
COUNCIL CHAMBERS

1. Call to order
2. Pledge of Allegiance
3. Roll Call
4. Public Comment
5. Approval of Minutes from the December 16, 2019 Common Council Meeting
6. Mayor's Business
 - A. Adult Crossing Guard Week Proclamation
7. Announcements
8. Administrator's Report
9. Engineer's Report
10. Committee Reports
 - A. Finance Committee**
 - (1) Discussion and Possible Action Re: Payment of bills
 - B. Public Safety and Welfare Committee**
 - (1) Discussion and Possible Action Re: Temporary Class "B" Fermented Malt Beverage and "Class B" Wine license applications from the Verona Area Community Theater, 103 Lincoln Street, for February 13-15 and 20-22, 2020; and May 15 – 17, 2020 - Dale Nickels, Agent
 - C. Plan Commission**
 - (1) Discussion and Possible Action Re: Resolution No. 20-001 approving a conditional use permit for a proposed in-vehicle sales or service land use to construct a drive-through to be located at 150 West End Circle
 - (2) Discussion and Possible Action Re: Resolution No. 20-002 approving a conditional use permit amendment to the Epic Systems Corporation "Group Development" to allow for the construction of two office buildings on Campus 5 located at 1979 Milky Way
11. New Business
 - A. Discussion and Possible Action Re: Lease agreement with Verizon for the water tower at 825 County Highway M
 - B. Discussion and Possible Action Re: Designation of alternate locations and extended hours for requesting and voting absentee ballots for the April 7, 2020 Presidential Preference Primary and Spring Election.
 - C. Discussion and Possible Action Re: Approval of operator licenses.
12. Adjournment

Luke Diaz, Mayor

POSTED: Miller's Market
Verona City Hall
Verona Public Library
City Website @ www.ci.verona.wi.us

IF YOU NEED AN INTERPRETER, MATERIALS IN ALTERNATIVE FORMATS, OR OTHER ACCOMODATION TO ACCESS THE MEETING, PLEASE CONTACT THE CITY CLERK AT 845-6495 AT LEAST 48 HOURS PRECEDING THE MEETING. EVERY REASONABLE EFFORT WILL BE MADE TO ACCOMMODATE YOUR REQUEST.

CITY OF VERONA
MINUTES
COMMON COUNCIL
December 16, 2019
Verona City Hall

1. Mayor Diaz called the meeting to order at 7:01 p.m.
2. Pledge of Allegiance
3. Roll call: Alderpersons Kate Cronin, Sarah Gaskell, Charlotte Jerney, Katie Kohl, Christine Posey, and Evan Touchett were present. Also present: City Administrator Adam Sayre, City Engineer Carla Fischer, Public Works Director Theran Jacobson, City Attorney Bryan Kleinmaier, and City Clerk Ellen Clark. Alderperson Chad Kemp was absent and excused. Alderperson Heather Reekie is expected to arrive later.
4. Public Comment: None
5. Approval of the minutes from the November 18, 2019 Common Council meeting. Motion by Kohl, seconded by Touchett, to approve the minutes of the November 18, 2019 Common Council meeting. Motion carried 6-0.
6. Mayor's Business:
 - A. Citizen appointment to the Community Development Authority.
Mayor Diaz recommended that Brett Polglaze be appointed to the Community Development Authority. Motion by Kohl, seconded by Touchett, to appoint Brett Polglaze to the Community Development Authority. Motion carried 6-0.
7. Announcements: None
8. Administrator's Report:
 - Alternate side parking is effective from November 20th through April 1st.
 - City Hall will be closed December 24th and 25th, and January 1st and 20th.
 - The City of Verona has been awarded a Bronze Bicycle Friendly Community award for the City's commitment to improving conditions for all people who bike.
 - The Police and Fire Commission has named Dan Machotka as the acting Fire Chief. Interviews for candidates for the Fire Chief position will be held in January.
 - The Planning Director position has been posted.
9. Engineer's Report:
 - Well 6 pumping station: Underground utility work is complete, and the floor and generator pad are poured. Walls will be constructed over the next four to five weeks.
 - Verona Area High School traffic improvements: Both lanes are open in each direction on West Verona Avenue. Traffic on West End Circle will remain in its current configuration until spring. Structure work on West Verona Avenue, Stewarts Woods Road and the Military Ridge culvert at Wildcat Way will continue throughout the winter. The Military Ridge Trail will be closed until spring for box culvert installation

at the future location of Wildcat Way.

- CTH PD – Woods Road to CTH M: Woods Road at CTH PD will be closed for two weeks beginning December 16th. A three-day lane closure of the median westbound lane of CTH PD between Woods Road and east of the Good Shepherd Church driveway will begin December 17th.
- Liberty Park Phase 4: Rough grading and sanitary sewer pipe work for the Liberty Drive extension has started.

10. Committee Reports

A. Finance Committee

- (1) Discussion and Possible Action Re: Payment of bills. Motion by Cronin, seconded by Posey, to pay the bills in the amount of \$743,504.14, as well as payment in the amount of \$1,076,254.78, which encompasses the payout checks for the TID 8 error. Motion carried 6-0.

B. Public Safety and Welfare Committee

- (1) Discussion and Possible Action Re: A Combination Class “A” Beer and “Class A” Liquor license application from Verona Mart, Inc., d/b/a Verona Mobil, 101 East Verona Avenue, Verona, Wisconsin, Ijaz Afridi, Agent. Motion by Kohl, seconded by Touchett, to approve a Combination Class “A” Beer and “Class A” Liquor license for Verona Mart, Inc., d/b/a Verona Mobil, 101 East Verona Avenue, Verona, Wisconsin, Ijaz Afridi, Agent. Verona Mart, Inc. is purchasing Verona Mobil from Brar Enterprises, Inc., and has applied for a new license for the property. The property is scheduled to change hands on December 17th. Motion carried 6-0.
- (2) Discussion and Possible Action Re: City of Verona Warming and Cooling Center Policy. Motion by Kohl, seconded by Cronin, to approve the City of Verona Warming and Cooling Center Policy. The proposed policy would provide guidance for the activation of City facilities as warming and cooling centers when the National Weather Service issues a wind chill warning, a heat advisory, or excessive heat warning. The policy would designate the Library and Senior Center as warming and cooling centers. These locations would serve as temporary locations where citizens would be safe and comfortable during extreme temperature events. Motion carried 6-0.
- (3) Discussion and Possible Action Re: Agreement for crossing guard services. Motion by Kohl, seconded by Touchett, to approve an agreement with All City Management Services to provide crossing guard services for the City, contingent upon final review by the City Administrator and City Attorney. The proposed Agreement with All City Management Services would provide crossing guard services for the City. The contract would end on December 31, 2020 with the potential for an extension. The cost for services in 2020 is to not exceed \$124,250. The contract also includes language that provides the City with a credit of \$40 per hour, per location staffed by City personnel.

Cronin asked if existing crossing guards will be given the opportunity to apply for positions with the new company.

Coughlin replied existing crossing guards will have that opportunity. The police department will host a meeting on Thursday, December 19th during which current crossing guard staff will be introduced to All City Management Services staff. He is optimistic that the current crossing guards will be hired by All City Management Services, though there is no guarantee. Motion carried 6-0.

C. Plan Commission

- (1) Discussion and Possible Action Re: Resolution No. R-19-056 approving a precise implementation plan amendment located at 501 West Verona Avenue, 503 West Verona Avenue, 507 West Verona Avenue, and 100 Legion Street that would allow for the construction of 143 apartment units, and 26,000 square feet of commercial space. Motion by Gaskell, seconded by Kohl, to approve a precise implementation plan amendment located at 501 West Verona Avenue, 503 West Verona Avenue, 507 West Verona Avenue, and 100 Legion Street that would allow for the construction of 143 apartment units, and 26,000 square feet of commercial space, with the following condition:

1. Prior to the issuance of building permits, Forward Development Group shall enter into a Developer's Agreement with the City of Verona.

Jerney asked if during the phasing process there will be actions taken to improve the appearance of the portions of the lot upon which no buildings are constructed.

Sayre replied Phase 1 includes the mixed use buildings and the hotel/convention center. The second phase includes the apartment buildings along Topp Avenue. The vast majority of the development along Verona Avenue will be developed into buildings and parking. There will be a small strip of undeveloped land where Topp Avenue is now.

Cronin asked if there is a timeline for the development agreement to be in place.

Sayre replied the City has not developed a timeline, but the developer will want the work done as soon as possible.

Motion carried 6-0.

D. Public Works/Sewer & Water Committee

- (1) Discussion and Possible Action Re: Project closeout and change order No. 1 for Project ID 2019-101, 2019 Asphaltic Rehabilitation. Motion by Touchett, seconded by Gaskell, to approve the project closeout and change order No. 1 for Project ID 2019-101, 2019 Asphaltic Rehabilitation. Change order No. 1 is to rectify as-built quantities for the work required to complete the project. This will close the contract with Raymond P. Cattell and final payment will be issued. Change order No. 1 results in a reduction of \$46,314.80 and a total contract value of \$384,525.20. Motion carried 6-0.

- (2) Discussion and Possible Action Re: Project closeout and change order No. 1 for Project ID 2019-102, 2019 Bituminous Seal Coat Project. Motion by Touchett, seconded by Gaskell, to approve the project closeout and change order No. 1 for Project ID 2019-102, 2019 Bituminous Seal Coat Project. Change order No. 1 is to rectify as-built quantities for the work required to complete the project. This will close the contract with Fahrner Asphalt Sealers and final payment will be issued. Change order No. 1 results in a reduction of \$5,997.53 and a total contract value of \$231,872.47. Motion carried 6-0.
- (3) Discussion and Possible Action Re: Project closeout and change order No. 2 for Project ID 2018-107, CTH M/Thousand Oaks/Liberty Drive traffic signals. Motion by Touchett, seconded by Gaskell, to approve the project closeout and change order No. 2 for Project ID 2018-107, CTH M/Thousand Oaks/Liberty Drive traffic signals. Change order No. 2 is to rectify as-built quantities for the work required to complete the project. This will close the contract with IGE and final payment will be issued. Change order No. 2 results in an increase of \$1,964.50 and a total contract value of \$581,673.46. Motion carried 6-0.
- (4) Discussion and Possible Action Re: Change order No. 1 for Project 2016-123, CTH PD. Motion by Touchett, seconded by Gaskell, to approve change order No. 1 for Project 2016-123, CTH PD. Payne and Dolan is continuing the construction of the expansion of CTH PD. The project is in stage 3 of construction and is in winter shut down. Change order No. 1 is to rectify quantities of additional work required from changes in project staging and weather conditions during paving operations. Change order No. 1 results in an increase of \$9,696.10 and a total contract value of \$1,489,248.85. Motion carried 6-0.
- (5) Discussion and Possible Action Re: Change order No. 1 for Project 2017-115, Well 6. Motion by Touchett, seconded by Gaskell, to approve change order No. 1 for Project 2017-115, Well 6. Maddrell Excavating is continuing the construction of the Well 6 project. Change order No. 1 is to rectify changes in sanitary sewer construction. Change order No. 1 results in an increase of \$22,575.48 and a total contract value of \$2,626,677.98. Motion carried 6-0.
- (6) Discussion and Possible Action Re: Change order No. 2 for Project 2017-115, Well 6. Motion by Touchett, seconded by Gaskell, to approve change order No. 2 for Project 2017-115, Well 6. Change order No. 2 is to account for rock excavation and adding a sand filter. Change order No. 2 results in an increase of \$111,462.00 and a total contract value of \$2,738,139.98. Motion carried 6-0.

7:27 P.M. – Alderperson Reekie now present.

11. Old Business

- A. Discussion and Possible Action Re: Ordinance No. 19-954 amending Title 15 of the Code of Ordinances, City of Verona, Wisconsin, relating to the City's electrical building code. Sayre explained in November, the City approved changes to the Building Code. These changes were required by the State of Wisconsin Department of Safety and Professional

Services (DSPS). After the Council adopted the changes, Staff sent the changes to the DSPS and was directed to make additional changes to meet the requirements of State Codes. Motion by Gaskell, seconded by Reekie, to approve Ordinance No. 19-954 amending Title 15 of the Code of Ordinances, City of Verona, Wisconsin, relating to the City's electrical building code. Motion carried 7-0.

Mayor Diaz requested unanimous consent to take up items 12.A., 12.C., and 12.D. before items 11.B. and 12.B., for the purpose of convening in closed session for items 11.B. and 12.B. at the same time. There were no objections.

12. New Business

- A. Discussion and Possible Action Re: Resolution No. R-19-057 approving creation of a 2020 Census Complete Count Committee. Sayre explained the purpose of a Complete Count Committee is to help promote and encourage citizens to complete the Census. The Complete Count Committee will include Staff and citizens. There is already one citizen interested in serving on the Committee. Staff anticipates additional community and business members assisting with the Census. The committee will be partnering with the senior center and the library, as well. Motion by Kohl, seconded by Cronin, to approve Resolution No. R-19-057 approving creation of a 2020 Census Complete Count Committee. Motion carried 7-0.
- C. Discussion and Possible Action Re: Appointment of Election Inspectors and Special Voting Deputies for the 2020-2021 election term. Clerk Clark stated this item requires the Mayor to nominate, and the Common Council to appoint, Election Inspectors and Special Voting Deputies for the City of Verona for terms beginning January 1, 2020, and ending December 31, 2021. There are a total of 103 nominees. For the record, two nominees, Jon Nelson and Roger Remus, were nominated by the Republican Party of Dane County as first choice nominees, which means they must be appointed. The Democratic Party did not submit nominees. Mayor Diaz nominated Election Inspectors and Special Voting Deputies for the 2020-2021 term per the list of nominees provided by the City Clerk. Motion by Kohl, seconded by Reekie, to appoint City of Verona Election Inspectors and Special Voting Deputies for the 2020-2021 term per the list of nominees provided by the City Clerk. The list of nominees is included in the minutes as Appendix A. Motion carried 7-0.
- D. Discussion and Possible Action Re: Approval of operator licenses. Motion by Reekie, seconded by Cronin, to approve operator license applications as presented by the City Clerk. Motion carried 7-0.

- 11.B. Discussion and Possible Action Re: Development Agreement for the Sugar Creek Commons project in Tax Incremental District #9.
The Common Council may convene in a closed session, as authorized by Wisconsin Statute 19.85(1)(e), for the purpose of deliberating or negotiating the purchase of public properties, the investing of public funds or conducting other specified public business, whenever competitive or bargaining reasons deem a closed session necessary. The Common council may convene in open session to discuss and take action on the subject matter discussed in the closed session.

Sayre explained Staff is requesting a closed session to update the Council on the negotiations with the developer and to gain direction from the Council on future negotiations with the developer on the development agreement. He does not anticipate action by the Common Council at this meeting.

Motion by Gaskell, seconded by Reekie, to convene in a closed session, as authorized by Wisconsin Statute 19.85(1)(e), for the purpose of deliberating or negotiating the purchase of public properties, the investing of public funds or conducting other specified public business, whenever competitive or bargaining reasons deem a closed session necessary. The Common council may convene in open session to discuss and take action on the subject matter discussed in the closed session. On roll call: Alder Kohl – Aye; Alder Posey – Aye; Alder Reekie – Aye; Alder Touchett – Aye; Alder Cronin – Aye; Alder Gaskell – Aye; Alder Jerney – Aye. Motion carried 7-0. The Common Council convened in closed session at 7:38 p.m. City Attorney Kleinmaier and Public Works Director Theran Jacobson remained for the closed session.

CLOSED SESSION

Motion by Touchett, seconded by Reekie, to reconvene in open session at 8:20 p.m. Motion carried 7-0. No action was taken by the Common Council in closed session.

- 12.B. Discussion and Possible Action Re: Land acquisition for Parcel 5 and 6 for Project 2018-108, Eastside Interceptor Replacement located at 319 and 411 Lincoln Street. *The Common Council may convene in a closed session, as authorized by Wisconsin Statute 19.85(1)(e), for the purpose of deliberating or negotiating the purchase of public properties, the investing of public funds or conducting other specified public business, whenever competitive or bargaining reasons deem a closed session necessary. The Common Council may reconvene in an open session to discuss and take action on the subject matter discussed in the closed session.*

Sayre explained Jacobson has been working on this acquisition. This project requires either easements or property acquisition. This property is located adjacent to Badger Mill Creek just east of Lincoln Street. Parcel 5, north of Badger Mill Creek, is 8.6 acres in size; Parcel 6, south of Badger Mill Creek, is 5.0 acres. Staff has discussed acquisition of the property with the property owner. Staff is requesting a closed session to discuss the acquisition with Council.

Motion by Cronin, seconded by Reekie, to convene in closed session, as authorized by Wisconsin Statute 19.85(1)(e), for the purpose of deliberating or negotiating the purchase of public properties, the investing of public funds or conducting other specified public business, whenever competitive or bargaining reasons deem a closed session necessary. The Common Council may reconvene in an open session to discuss and take action on the subject matter discussed in the closed session. On roll call: Alder Kohl – Aye; Alder Posey – Aye; Alder Reekie – Aye; Alder Touchett – Aye; Alder Cronin – Aye; Alder Gaskell – Aye; Alder Jerney – Aye. Motion carried 7-0. The Common Council convened in closed session at 7:39 p.m. City Attorney Kleinmaier and Public Works Director Jacobson remained for the closed session.

CLOSED SESSION

Motion by Touchett, seconded by Reekie, to reconvene in open session at 8:20 p.m.
Motion carried 7-0. No action was taken by the Common Council in closed session.

Diaz stated negotiations are ongoing for both closed session items.

12. Adjournment:

Motion by Reekie, seconded by Kohl, to adjourn at 8:22 p.m. Motion carried 7-0.

Ellen Clark
City Clerk

Appendix A

2020-2021

Election Inspector Nominees

Adams, Susan	Kaiser, Linda	O'Neil, Roxanne
Anderson, Beverly	Keyes, Tierney	O'Neil, Steven
Anderson, Judy	Klockziem, Brian	Ott, Zoa
Barker, Sue	Klockziem, Kelly	Owen, Lucy
Behnke, Ken	Klusmeyer, Brenda	Owen, William
Bisek, Jacquelyn	Koebke, Dale	Pietsch, Michelle
Bogdanow, Gail	Koebke, Ruth Ann	Powell, James
Booth, Marcia	Korinek, Janice	Pudewell, Paula
Bryant, Barbara	Kosier, Elaine	Rae, Peter
Bubolz, Dan	Krebs, Susan	Remmert, Joe
Bubolz, Susan	Krembs, Charlene	Remus, Roger (Rep. Party)
Buechel, Marlene	Krembs, Robert	Sailing, Lisa
Callaway, Patricia	Kreutz, Eileen	Sanyer, Leyla
Christian, Lyle	LaBerge, William	Schneider, Brad
Dahlk, Sharon "Sue"	Leary, Linda	Schuetz, Ann
Dornfeld, Susan	Liboy, Mario	Siegenthaler, Fred
Dowd, Ivy	Liboy, Sonya	Smith, Mary
Draeger, Sara	Loveless, Judy	Smith, Teressa
Duros, Scott	Lund, Jane	Swain, Astrid
Fahlgren, Karen	Mansholt, Paula	Thor, Lynn
Fitzmier, Martha	Maradiaga, Anne	Trainor, Laurel
Fletcher, Karen	Marshall, Phil	Uren, Joan
Freitag, Linda	Martin, Cindy	VanHorne, Tanya
Gocey, Julie	Martin, Rick	Volker, Mary
Goertz, Peter	Martin, Rita	Wainwright, Mark
Heiliger, Terry	Martin, Ron	Waldmann, Doris
Hein, Gary	Maurer, Richard	Warren, Debra
Huemmer, Jay	McArdell, Carol Ann	Weigel, Laurie
Hummel, Gail	McCormick, Kathleen	Weil, Mary
Huseth, Audrey	McMahan, Lauretta	Weiland, Karen
Hussin, Donna	Meyer, Bev	West, Mike
Jensen, Ruth	Murray, Margy	Zimmerman, Gretchen
Johnson, Eleanor	Nelson, Catherine	Zurbuchen, Deb
Johnson, Phyllis	Nelson, Jon (Rep. Party)	
Jones, Grace	Nilles, Arlys	

2020-2021 Special Voting Deputies

Bryant, Barbara	Martin, Rita	Warren, Debra
Bubolz, Susan	Meyer, Bev	Weiland, Karen
Goertz, Peter	Pudewell, Paula	Zurbuchen, Deb
Hein, Gary	Rae, Peter	
Huemmer, Jay	Schuetz, Ann	
Krembs, Charlene	Smith, Mary	

PROCLAMATION
Adult School Crossing Guard Recognition

WHEREAS, Verona's adult school crossing guards provide an individual service in helping to ensure the safe passage of our youngest, most vulnerable pedestrians; children walking between home and school; and

WHEREAS, adult school crossing guards typically serve with a dedication that discounts the rigors of harsh weather, split shifts and heavy traffic; and

WHEREAS, for more than four decades, adult school crossing guards have served the Verona community, and

WHEREAS, adult school crossing guards help reinforce in the minds of the young people they assist, the importance of traffic-hazard identification and safe street-crossing behavior; and

WHEREAS, school assemblies, school board resolutions, police department support, parent-teacher organization observances, local news coverage, and especially kind words from children will help to convey the gratitude of our community for the life-saving, injury-reducing role that Verona's adult school crossing guards play;

NOW, THEREFORE, I, Luke Diaz, Mayor of the City of Verona, do hereby proclaim January 13 through January 17, 2020 as:

ADULT SCHOOL CROSSING GUARD RECOGNITION WEEK

in the City of Verona, and I invite all citizens to join me in this recognition.

Signed and dated this 13th day of January, 2020

CITY OF VERONA

By: _____

Like Diaz, Mayor

Attest: _____

Ellen Clark, City Clerk



Administrator Report for January 13, 2020

Upcoming Meetings/Events

- Crossing Guard Recognition Breakfast – January 17th
- Martin Luther King Jr. Day – January 20th – Holiday

Alternate Side Parking

In order to make room for snow plowing, effective November 20th through April 1st parking is prohibited from 1:00 am to 6:00 am on the even-numbered side of any public street on the odd-numbered calendar days, and on the odd-numbered side of the public street on the even numbered calendar days except as otherwise posted. Violators may be subject to a fine and/or towing.

Tax Bills

Tax bills were mailed out on December 5th. So far the City has processed approximately 3,900 bills and collected more than \$20,000,000. As a reminder, City Hall is closed on January 20th.

Christmas Tree Pick-Up

The Public Works Department will collect trees weekly throughout the City during the month of January. Trees should be placed at the curb for collection. Crews will not collect wreaths, evergreen rope, garland, or boughs as they contain wires that can damage equipment. These items should be placed in refuse bins.

Sugar Creek School RFP

The Sugar Creek School RFP was posted to the City's website on January 6th. Proposals are due to the City by March 30th. A link to the RFP is below:

<https://www.ci.verona.wi.us/697/Sugar-Creek-Elementary-School-Site>

Crossing Guard Recognition Breakfast

The Police Department will be hosting a crossing guard recognition breakfast on January 17th at 8:30 am at the Fairfield Inn and Suites.

Fire Chief Recruitment

The PFC met on January 9th and interviewed candidates for the Fire Chief position. Staff will provide updates to the Council as they become available.

Planning Director Recruitment

Staff has completed phone interviews for Planning Director position and will interview two (2) candidates on January 22nd. Staff will provide updates to the Council as they become available. The goal is to have a new Director in place by the end of February or the beginning of March.

Employee Work Anniversaries

The following employees have January work anniversaries:

- Marty Cieslik – Engineer Project Coordinator – 13 years
- Dominique Ramierz – Police Officer – 2 years
- Ellen Clark – City Clerk – 4 years
- Brian Gutweiler – Firefighter – 9 years
- Trudy Lorandos – Circulation Supervisor – 16 years
- Julie Harrison – Assistant Library Director – 11 years
- Dylan Heinz – Police Officer – 3 years
- Chad Ogden – Equipment/Water Operator – 14 years

Engineer Report for January 13, 2020

Construction Projects:

Well 6 Pumping Station Construction

Concrete block walls are in the process of being finished and roof trusses are scheduled to be installed shortly. DNR has issued approval of the water systems facilities plan and specification revisions including the installation of a sand filter.

Verona Area High School Construction – Traffic Improvements

Traffic will continue to remain in the same location: W. Verona Ave open to 2 lanes in each direction, and West End Circle in its Winter Stage. Underground electrical/signal items will be being placed along W. Verona Ave and West End Circle in prep for signal installation later this year. Along Stewart Woods Road and Wildcat Way there will be periodic grading activities through the winter and water main and storm sewer installations along these roads beginning near the end of January or February. Structure work at W. Verona Ave box culvert extension and Military Ridge State Trail/Wildcat Way pedestrian culvert are continuing to progress. The W. Verona Ave box culvert extension will be wrapping up in the next couple of weeks and the area will be regraded and restored. The Military Ridge State Trail/Wildcat Way pedestrian box culvert will continue for another month or so. A trail re-route around the culvert work area is being planned to be completed so the trail can open and culvert work can continue. Structure work at the new Stewart Woods Rd Bridge is planned to begin late this month and go into the spring/summer.

CTH M Construction

Punch list items have been prepared and provided to the contractor prior to winter shutdown. Final punch list items will be addressed in spring of 2020.

CTH PD Construction - Woods Road to CTH M

Utility installation is scheduled to continue throughout the winter season as weather allows. Roadwork will resume in the early spring.

Liberty Park Phase 4 Construction

Rough grading for Liberty Drive extension has started. The sanitary sewer pipe work is completed, water main is 90% completed, and storm sewer construction is progressing. Utility work is anticipated to be completed by the end of the month.

Fireman's Park Construction

Work continues on the detention basin modifications along Bruce Street.

Major Design Projects:

East Side Interceptor Design

Design study report is being finalized. Preliminary plan and profile sheets of the proposed interceptor have been provided to City staff for review. Coordination will begin within the next two months with properties along the corridor.

Lincoln Street Stormwater Facility Design

Brown and Caldwell are coordination with the permitting agencies on revised layouts and will begin to formalize the permit applications

MEMORANDUM

To: Mayor and Council Members

From: Adam Sayre, City Administrator

Date: January 10, 2020

Re: Administrator's Memo – January 13, 2020 Common Council Meeting

Listed below is an explanation of items on the January 13, 2020 Common Council agenda:

PUBLIC SAFETY AND WELFARE COMMITTEE

A. Discussion and Possible Action Re: Temporary Class "B" Fermented Malt Beverage and "Class B" Wine license applications from the Verona Area Community Theater, for February 13-15 and 20-22, 2020; and May 15-17, 2020 - Dale Nickels, Agent.

The Verona Area Community Theater (VACT) is requesting these temporary licenses to serve beer and wine at VACT's performances of *Three Weddings and an Elvis* on February 13-15 and 20-22; and *The Music Man* on May 15-17, 2020. A licensed bartender will be at the bar at all times that alcohol is being sold.

PLAN COMMISSION

A. Discussion and Possible Action Re: Resolution No. 20-001 approving a conditional use permit for a proposed in-vehicle sales or service land use to construct a drive-through to be located at 150 West End Circle.

The proposed conditional use permit would allow for the construction of an automated teller machine for Summit Credit Union at 150 West End Circle. The Plan Commission held the required public hearing on January 6, 2020 and discussed the project. Comments from the Plan Commission included discussion about alternatives to the proposal, concerns about losing parking, and concerns about traffic and pedestrian conflicts. The Plan Commission voted 7-0 to recommend approval of the conditional use permit.

B. Discussion and Possible Action Re: Resolution No. 20-002 approving a conditional use permit amendment to the Epic Systems Corporation "Group Development" to allow for the construction of two office buildings on Campus 5 located at 1979 Milky Way.

The proposed conditional use permit would allow for the construction of two (2) offices buildings at 1979 Milky Way. The buildings will add 350 offices each. The Plan Commission held the required public hearing on January 6, 2020 and voted 7-0 to recommend for the approval.

NEW BUSINESS

A. Discussion and Possible Action Re: Lease agreement with Verizon for the water tower at 825 County Highway M.

Staff has been working with Verizon on a lease agreement for the rental of tower space at Tower 2 located at 825 County Highway M. The lease agreement follows the City lease format executed with other carriers currently located on City facilities. Further, the terms of the agreement are the same as the recently executed agreement with Verizon to lease space on Tower 3 near Country View Elementary School. Highlights of the lease agreement include:

- Five (5) year term;
- Renewal for four (4) additional successive five (5) year terms unless tenant; provides landlord written notice;
- Upfront cost for execution of lease is \$16,100; and
- Base monthly rent is \$2,300 with a 3% escalation.

Any action shall be contingent on legal review of the lease agreement.

B. Discussion and Possible Action Re: Designation of alternate locations and extended hours for requesting and voting absentee ballots for the April 7, 2020 Presidential Preference Primary and Spring Election.

Council action is needed to designate alternate locations for requesting and voting absentee ballots. Staff anticipates higher than average voter turnout for the April 7th Presidential Preference Primary and Spring Election, and is requesting approval from the Council to designate the Verona Public Library, 500 Silent Street, and the Senior Center, 108 Paoli Street, Verona, WI, as alternate absentee voting locations. Staff also requests informal approval of extended absentee voting hours. Absentee voting hours are not restricted to those posted, so additional hours may be added as needed.

For the Council's reference, the suggested absentee voting schedule for the April 7th 2020 Presidential Preference Primary and Spring Election is as follows:

CITY HALL:

Tuesday, March 17th – Friday, March 27th: 8:00 a.m. – 4:30 p.m.

Monday, March 30th – Friday, April 3rd: 8:00 a.m. – 7:00 p.m.

VERONA PUBLIC LIBRARY:

Saturday, March 21st: 9:00 a.m. – 3:00 p.m.

VERONA SENIOR CENTER:

Tuesday, March 24th: 10:00 a.m. – 2:00 p.m.

Application for Temporary Class "B" / "Class B" Retailer's License

See Additional Information on reverse side. Contact the municipal clerk if you have questions.

FEE \$38

Application Date: 11/14/2019

Town Village City of Verona

County of Dane

The named organization applies for: (check appropriate box(es).)

A Temporary Class "B" license to sell fermented malt beverages at picnics or similar gatherings under s. 125.26(6), Wis. Stats.

A Temporary "Class B" license to sell wine at picnics or similar gatherings under s. 125.51(10), Wis. Stats.

at the premises described below during a special event beginning _____ and ending _____ and agrees to comply with all laws, resolutions, ordinances and regulations (state, federal or local) affecting the sale of fermented malt beverages and/or wine if the license is granted.

1. Organization (check appropriate box) →

- Bona fide Club Church Lodge/Society
 Veteran's Organization Fair Association or Agricultural Society
 Chamber of Commerce or similar Civic or Trade Organization organized under ch. 181, Wis. Stats.

(a) Name Verona Area Community Theater, Inc

(b) Address 103 Lincoln Street, Verona WI

(Street)

Town Village City

(c) Date organized 1992

(d) If corporation, give date of incorporation _____

(e) If the named organization is not required to hold a Wisconsin seller's permit pursuant to s. 77.54 (7m), Wis. Stats., check this box:

(f) Names and addresses of all officers:

President Dale Nickels 7901 Hamilton Meadows Rd. Verona WI 53593

Vice President Alyssa Dvorak 5 Boca Grande Way, Madison, WI 53719

Secretary Elizabeth Kraemer 839 Questa Ridge Tr. Verona, WI 53593

Treasurer Brian Johnson 497 Linden St Verona, WI 53593

(g) Name and address of manager or person in charge of affair: Dale Nickels 7901 Hamilton Meadows Rd
Verona, WI 53593

2. Location of Premises Where Beer and/or Wine Will Be Sold, Served, Consumed, or Stored, and Areas Where Alcohol Beverage Records Will be Stored:

(a) Street number 103 Lincoln St. Verona WI 53593

(b) Lot _____ Block _____

(c) Do premises occupy all or part of building? yes

(d) If part of building, describe fully all premises covered under this application, which floor or floors, or room or rooms, license is to cover: Ground floor

3. Name of Event

(a) List name of the event Four Weddings & An Elvis (play)

(b) Dates of event February 13-15 & 20-22, 2020

DECLARATION

An officer of the organization, declares under penalties of law that the information provided in this application is true and correct to the best of his/her knowledge and belief. Any person who knowingly provides materially false information in an application for a license may be required to forfeit not more than \$1,000.

Officer Dee Baedora 11/21/19
(Signature / Date)

Verona Area Comm. Theater
(Name of Organization)

Date Filed with Clerk _____

Date Reported to Council or Board _____

Date Granted by Council _____

License No. _____

VACT Officers

President Dale Nickels 5/23/1956

- 1. No CIB 11/26/19
- 2. Valid WI D.L. 11/25/19

Vice President Alyssa Dvorak 9/4/1993

- 1. No CIB 11/25/19
- 2. Valid WI D.L. 11/25/19

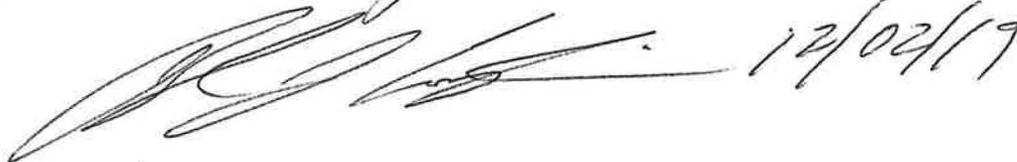
Treasurer Brian Johnson 6/26/1974

- 1. No CIB 11/25/19
- 2. Valid WI D.L. - Minor D.R. 11/25/19

Secretary Elizabet Kraemer 5/29/1966

- 1. No CIB 11/25/19
- 2. Valid WI D.L. - Minor D.R. 11/25/19

Recommend approval



12/02/19

* dale@vact.org

RECEIVED

NOV 25 2019

VERONA POLICE DEPT.

Application for Temporary Class "B" / "Class B" Retailer's License

See Additional Information on reverse side. Contact the municipal clerk if you have questions.

FEE \$38

Application Date: 11/14/2019

Town Village City of Verona

County of Dane

The named organization applies for: (check appropriate box(es).)

- A Temporary Class "B" license to sell fermented malt beverages at picnics or similar gatherings under s. 125.26(6), Wis. Stats.
- A Temporary "Class B" license to sell wine at picnics or similar gatherings under s. 125.51(10), Wis. Stats.

at the premises described below during a special event beginning _____ and ending _____ and agrees to comply with all laws, resolutions, ordinances and regulations (state, federal or local) affecting the sale of fermented malt beverages and/or wine if the license is granted.

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(c) Do premises occupy all or part of building? yes

(d) If part of building, describe fully all premises covered under this application, which floor or floors, or room or rooms, license is to cover: Ground floor

3. Name of Event

(a) List name of the event Music Man (Senior Musical)

(b) Dates of event May 15, 16 & 17, 2020

DECLARATION

An officer of the organization, declares under penalties of law that the information provided in this application is true and correct to the best of his/her knowledge and belief. Any person who knowingly provides materially false information in an application for a license may be required to forfeit not more than \$1,000.

Officer [Signature] 11/21/19
(Signature / Date)

Verona Area Comm. Theater
(Name of Organization)

Date Filed with Clerk _____

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License No. _____

VACT Officers

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Secretary Elizabeth Kraemer 5/29/1966

1. No CIB 11/25/19

2. Valid WI D.L. - Minor D.R. 11/25/19

Recommend approval

A large, stylized handwritten signature in black ink, appearing to be 'Dale Nickels', followed by the date '12/02/19'.

* dale@vact.org

**CITY OF VERONA
RESOLUTION NO. R-20-001**

**A RESOLUTION APPROVING A CONDITIONAL USE PERMIT TO
ALLOW AN IN-VEHICLE SALES OR SERVICE LAND USE
AT 150 WEST END CIRCLE**

WHEREAS, the proposed Conditional Use Permit will allow for the operation of a drive through for an automated teller machine located at 150 West End Circle; and

WHEREAS, the conditional use will not be detrimental to the public health, safety, and morals of the community; will not have a negative impact on the neighborhood property values, environment, or traffic; will not impede the orderly development of other properties within the vicinity; and

WHEREAS, the conditional use will not interfere with current traffic patterns, and will not violate the requirements of the Verona Zoning Ordinance; and

WHEREAS, the Plan Commission held a public hearing on the proposed Conditional Use Permit on January 6, 2020 and voted to recommend for the approval.

NOW, THEREFORE, BE IT RESOLVED that the City of Verona Common Council approves the Conditional Use Permit to allow an in-vehicle sales or service land use at 150 West End Circle.

Passed, signed and dated this 13th day of January, 2020.

CITY OF VERONA

SEAL

Luke Diaz, Mayor

Ellen Clark, City Clerk

Planning Report

City of Verona

Plan Commission 1-6-2020

Summit Credit Union

Conditional Use Permit & Site Plan Review

Summary: The Applicant has submitted a request for a conditional use permit and site plan review to allow for the construction of an automated teller machine with a drive-through on the north side of Stephen Way.

Property Location: 150 West End Circle

Property Owner: West End Lot LLC
Steve Brown Apartments
120 W. Gorham St.
Madison, WI 53593

Applicant: Summit Credit Union
Greg Polacheck
1709 Landmark Drive
Cottage Grove, WI 53527

Existing Zoning: Suburban Commercial with a Planned Unit Development in the Downtown Design and Use overlay zone

Existing Land Use: Vacant

Proposed Land Use: In-vehicle sales or service (drive-through)

Figure 1 – Location Map



Site Description:

The Applicant is requesting a conditional use permit (CUP) and site plan approval for an automated teller machine (ATM) as depicted in red in Figure 1 to be located north of Stephen Way. This land is zoned Suburban Commercial (SC) with a Planned Unit Development overlay and is within the Downtown Design and Use overlay district. Land uses surrounding the Property include apartments and the future high school to the south, West Verona Avenue to the north, vacant land to the west, and a gas station under construction to the east. The Applicant has informed Staff that a typical ATM has four (4) to twelve (12) users per day.

Background:

In 2016, a GDP was approved in September followed by a PIP approval in November of 2016 to construct a 29-unit apartment building, eight (8) townhouses, and 15,200 square feet of commercial space. The 2016 project was never constructed.

In 2018, a GDP was approved in August with the following exemptions from Common Council:

1. Front yard setback for ten (10)-feet;
2. A drive-thru can be located between the building and West End Circle; and
3. Artistic mural sign on a wall, two (2) fourteen (14) foot tall pylon signs and a Market 5 monument sign.

In October of 2018, the PIP was approved to construct 28,849 square feet of commercial space as depicted in Figure 2. The project is currently under construction.

Conditional Use Permit Summit Credit Union – Drive-through



Figure 2 - Approved PIP

In November of 2019, the Plan Commission discussed the initial design of the drive-through as depicted in Figure 3. Comments included concerns regarding several points of conflict, pedestrian concerns, could the drive-through entrance and exit integrated with the parking lot, and are there a better design for the drive-through than this option.

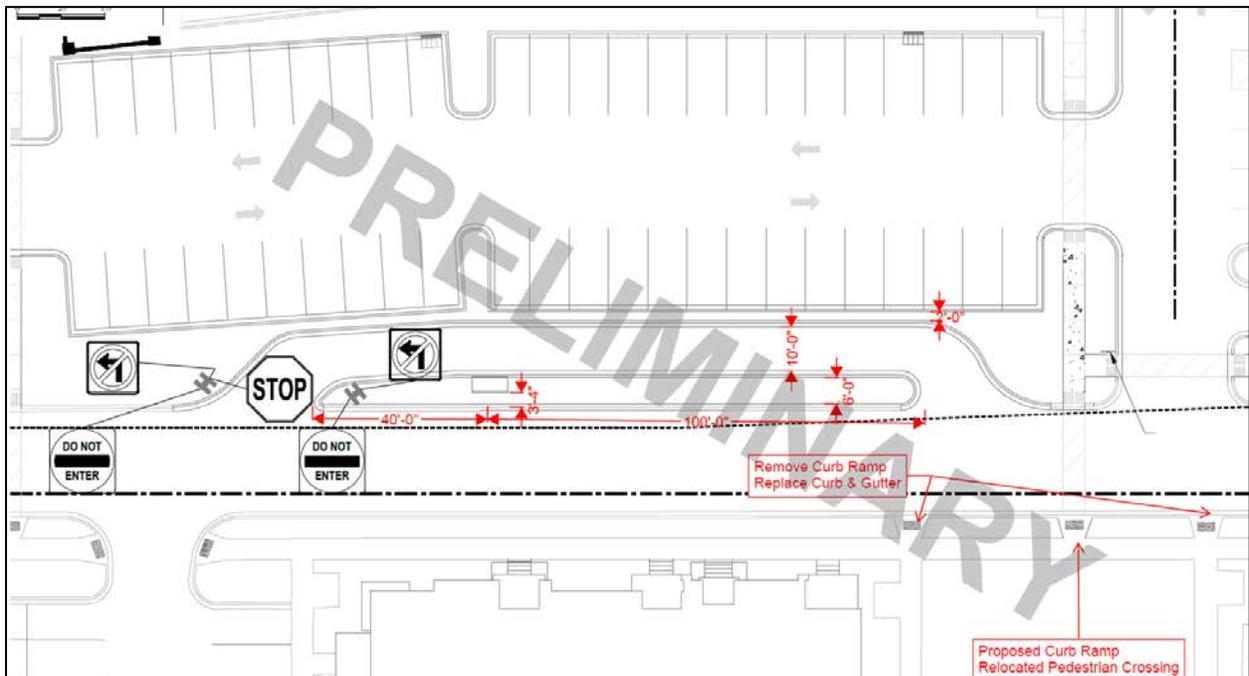


Figure 3 - Initial review

Planning Review:

Design and location:

The Applicant is requesting to locate an ATM north of Stephen Way in an area that was proposed to be landscaped with five (5) trees by Steve Brown Apartments. These trees would be relocated on the property even though the development exceeded the minimum landscaping requirements. The ATM is located two (2) feet south of the back of the curb for the parking area for the commercial development. The ATM is located 3.4 feet north of the back of the curb for Stephen Way. The sidewalk depicted in Figure 2 will be moved to the east towards the commercial development access point to allow the required 100-foot queuing distance as depicted in Figure 4. Staff recommends the Applicant coordinate with the property owner to add parking wheel stops to ensure that a car will not overhang the two (2) feet into the drive-through area of the ATM.

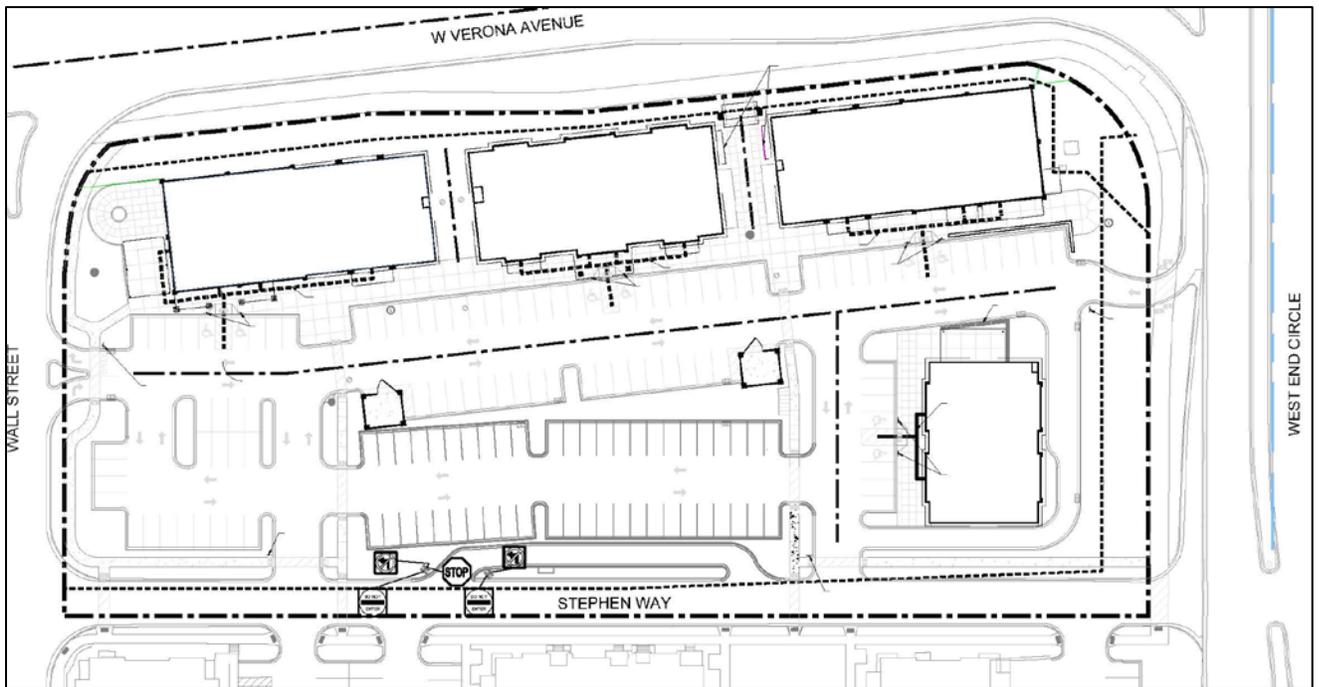


Figure 4 - Proposed drive-through

As depicted in Figures 5 and 6, the Applicant placed the entrance and exit of the drive-through interior to the site per the Plan Commission suggestion. This designed was determined by the Applicant not to work as the site would lose eight (8) to nine (9) parking spaces. The potential conflicts with the proposed design will be minimal as Summit is projecting four (4) to twelve (12) users of the drive-through per day. This does not justify the loss of parking per the Applicant. Staff concurs that the minimal amount of traffic generated by the ATM does not warrant losing that many parking spaces, which will be needed depending on the tenants of the buildings.

Conditional Use Permit
Summit Credit Union – Drive-through

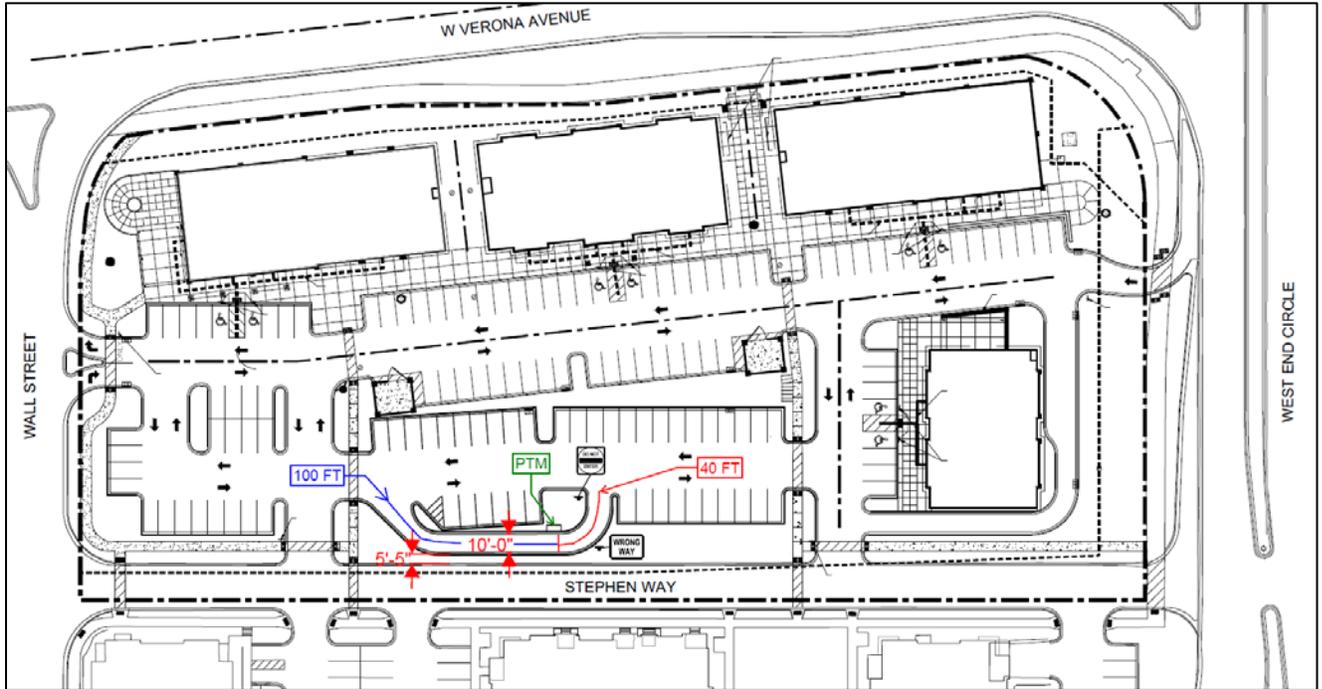


Figure 5 - One option that was analyzed

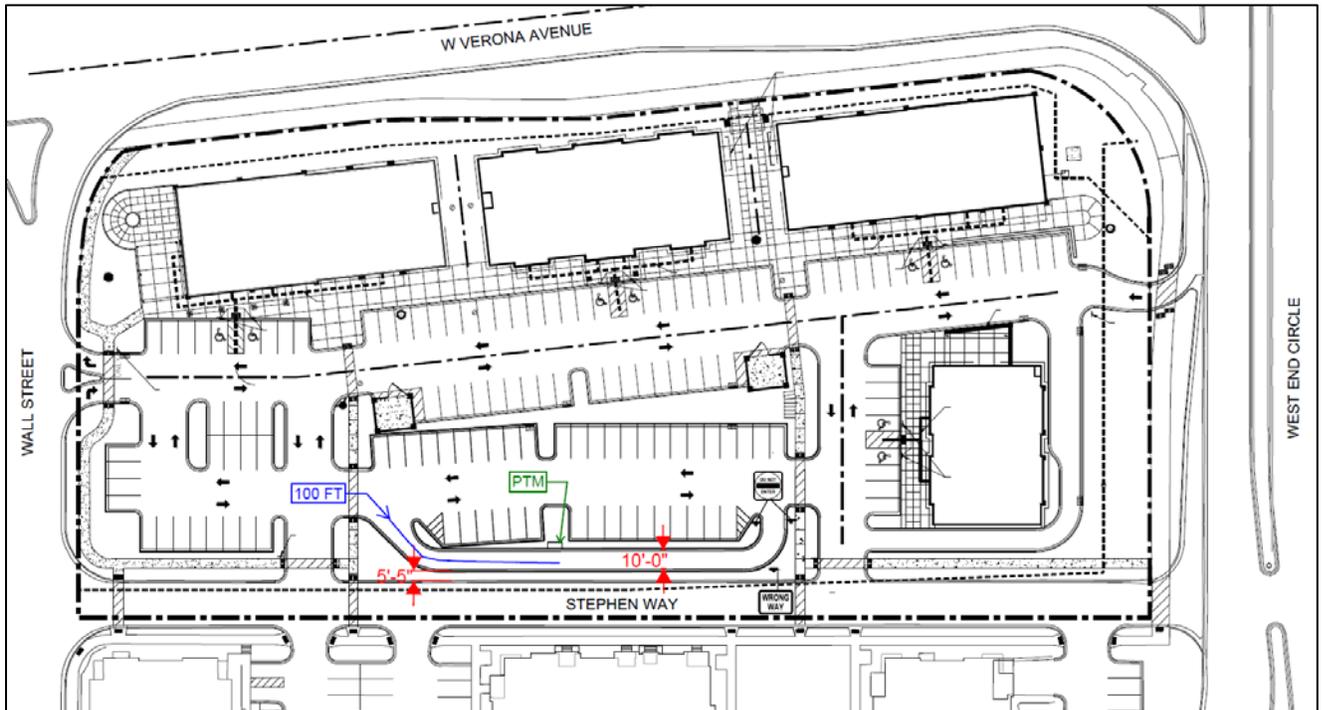


Figure 6 - Second option analyzed

Bulk Requirements:

The Property is located within the Downtown Overlay District which prohibits locating drive-through between the building and roadway. The PIP was approved to allow an exemption to the drive-through for a commercial building as it will not face onto Verona

Conditional Use Permit
Summit Credit Union – Drive-through

Avenue, but instead fronts West End Circle. The ATM will be located off of Stephen Way, which does not front onto West Verona Avenue.

Conditional Use Permit Findings:

The Applicant is requesting approval for drive-through lane, which is listed as a conditional use in the City's Zoning Ordinance for the SC zoning district. The Zoning Ordinance (Article J: Sec. 13-1-363) requires all conditional uses to fulfill general and specific standards for all conditional use permit requests.

1. *How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Verona Comprehensive Plan, this Chapter, and any other plan, program, or Chapter adopted, or under consideration pursuant to official notice by the City?*

The proposed drive-through would allow customers to stay inside their vehicle to conduct business, which is similar to other financial institutions within the City.

2. *How is the proposed conditional use (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the City of Verona Comprehensive Plan, this Chapter, and any other plan, program, or Chapter adopted, or under consideration pursuant to official notice by the City?*

The location of the proposed use is in harmony with the goals and policies of the City in the specific location proposed.

3. *Does the proposed conditional use, in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or Chapter adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?*

The proposed drive-through will not result in any undue adverse impact as the Applicant has stated that there are typically four (4) to twelve (12) vehicles that use the drive-through in a day.

4. *Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?*

The proposed drive-through will maintain a consistency of land uses within the surrounding area.

Conditional Use Permit
Summit Credit Union – Drive-through

5. *Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?*

The proposed drive-through will not impose an undue burden on public facilities and services in the area as they are already provided.

6. *Do the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?*

The benefits of the proposed use outweigh any adverse impacts in the neighborhood.

Specific Standards Findings: (Article C: Sec. 13-1-89(g)(3))

- a. *Clearly marked pedestrian crosswalks shall be provided for each walk-in customer access to the facility adjacent to the drive-through lane(s).*

This is not applicable to the project as there is not a building in the vicinity of the proposed ATM location.

- b. *The drive-through facility shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts.*

The Applicant is proposing traffic signs to assist drivers in understanding the appropriate entrances and exits to the ATM drive-through area. A marked pedestrian crosswalk is flanking the entrance and exit of the drive-through area, which was approved as part of the PIP for West End commercial development. The eastern crosswalk will be relocated farther to the east allowing the drive-through to fit. The crosswalks link the commercial portion of West End development to the existing apartments across Stephen Way.

- c. *In no instance shall a drive-through facility be permitted to operate which endangers the public safety, even if such land use has been permitted under the provisions of this Section.*

The drive-through facility is located off of Stephen Way, which is a low volume private drive. There is an entrance to the commercial development west and east of the proposed ATM entrance and exit. The ATM is setback far enough away from the access points to not hinder vehicle sight lines.

Conditional Use Permit
Summit Credit Union – Drive-through

- d. *The setback of any overhead canopy or similar structure shall be a minimum of 10 feet from all street rights-of-way lines, a minimum of 20 feet from all residentially-zoned property lines, and shall be a minimum of 5 feet from all other property lines. The total height of any overhead canopy of similar structure shall not exceed 20 feet as measured to the highest part of the structure.*

This is not applicable as the Applicant is only proposing a standalone ATM without a canopy.

- e. *All vehicular areas of the facility shall provide a surface paved with concrete or bituminous material which is designed to meet the requirements of a minimum 4 ton axle load.*

The Applicant will comply with this requirement.

- f. *Facility shall provide a bufferyard with a minimum opacity of .60 along all property borders abutting residentially zoned property (Section 13-1-249).*

Staff is recommending the Applicant not provide a bufferyard from the apartments. A bufferyard is not needed as the property does not abut the residential section, but is separated by Stephen Way. Staff believes it is important to keep open sight lines to the ATM area as well as the entrance and exit of the drive-through to not hinder sight lines.

- g. *Interior curbs shall be used to separate driving areas from exterior fixtures such as fuel pumps, vacuums, menu boards, canopy supports and landscaped islands. Said curbs shall be a minimum of 6 inches high and be of a nonmountable design. No curb protecting an exterior fixture shall be located closer than 25 feet to all property lines.*

Staff recommends the Applicant coordinate with the property owner to add parking stops to the previously approved parking stalls to ensure that a vehicle will not overhang the two (2) feet into the drive-through area of the ATM.

- h. *Parking Regulations. One space per 50 sf of gross floor area. Each drive-up lane shall have a minimum stacking length of 100 feet behind the pass through window and 40 feet beyond the pass through window.*

The Applicant has noted on the site plan that the ATM meets the minimum stacking length of 100 feet behind the ATM screen and 40 feet beyond the ATM screen.

Conditional Use Permit
Summit Credit Union – Drive-through

Recommendation:

Staff recommends the following Plan Commission action:

1. Recommend that the Common Council approve a conditional use permit to allow for the in-vehicle sales and service land use to construct a drive-through to be located at 150 West End Circle.
2. Approve the site plan allowing for the construction of a drive-through located at 150 West End Circle.

Prepared by: Katherine Holt *KH*
Community Development Specialist

Submitted by: Adam Sayre, AICP *AS*
City Administrator

From: Dan Seeley [mailto:dseeley@stevebrownapts.com]
Sent: Thursday, December 12, 2019 3:39 PM
To: Katherine Holt
Cc: Greg Polacheck; 'Jenny Lisak'; Alyssa Hellenbrand-Best
Subject: Re: Conversation

Katherine -

Attached is the design we previously shared without the "preliminary" watermark. As we discussed, after reviewing Jess Billmeyer's comments and exploring the rearrangement of the drive lane, we believe this remains the best option. Despite multiple configurations, relocating the drive lane so it is internal to the parking lot causes the loss of 8-9 parking spaces. With parking already tight on the site and Summit's projections of 4-12 users per day, traffic conflicts with our preferred design will be minimal and don't justify the loss of parking. We'd like to move forward with our initial design and call for the Plan Commission's vote.

Additionally attached are variations of the KL Engineering's redesigned drive lane. If you have any questions or need additional information, give me a call.

Thanks -

Dan Seeley
Director of Development and Special Projects
Steve Brown Apartments
120 W. Gorham St.
Madison, WI 53703
P: 608-255-7100
<http://www.stevebrownapts.com>

- Find us on Facebook at www.facebook.com/sbapts



November 13, 2019

Katherine Holt
Community Development Director
City of Verona
111 Lincoln Street
Verona, WI 53593

Hello Katherine,

Thank you for meeting with us yesterday regarding Summit Credit Union's ATM situation at the West End Market No. 5 Retail Development.

I want to take a moment to add some background information to our application for an exterior ATM at the West End retail development project.

As you know, Summit Credit Union has been a member of the Verona business community for several years. We currently have an office at 202 East Verona Avenue Street in the downtown. That office is very small and Summit is not able to offer the full spectrum of financial services that our members have come to expect. One of those services is to provide ATM access to members to obtain their financial information and complete their financial transactions.

In the summer of 2018, the Verona Plan Commission approved Summit Credit Union to locate an exterior ATM at another location at 407 West Verona Avenue where it was seeking to construct a new branch. The construction of that location was not finalized for several reasons and since Fall of 2018 Summit has been seeking a larger location in Verona.

We are now seeking to locate a larger branch office in the West End retail development, however, to remain competitive and deliver the full spectrum of financial services that members and new members expect, we respectfully are submitting our request for an exterior ATM. This request is much reduced in scale from the CU permit that was approved by the Plan Commission in the summer of 2018 for the other location.

The request for an exterior ATM of this nature is also in keeping with three other locations that Summit Credit Union has or is installing this application.

In summer of 2019, Summit opened with this exterior ATM installation in the city of Brookfield. This fall, Summit was also approved in Mt. Pleasant where that installation is now underway. And lastly, the village of Greendale has approved this same installation for spring of 2020. The point being, that other municipalities have set a precedent and have approved this type of exterior ATM installation.

Brookfield and Greendale are new construction projects similar to West End project while Mt. Pleasant is a renovation of an existing shopping center.

Attached are some pictures and details of the other ATM installations. The West End engineering firm is forwarding under separate cover the specific details of how this would work at West End Market No. 5 in Verona.

Thank you for this consideration. If you or your committee members have any questions I would be more than happy to address any concerns that you or committee members may have.

Sincerely,

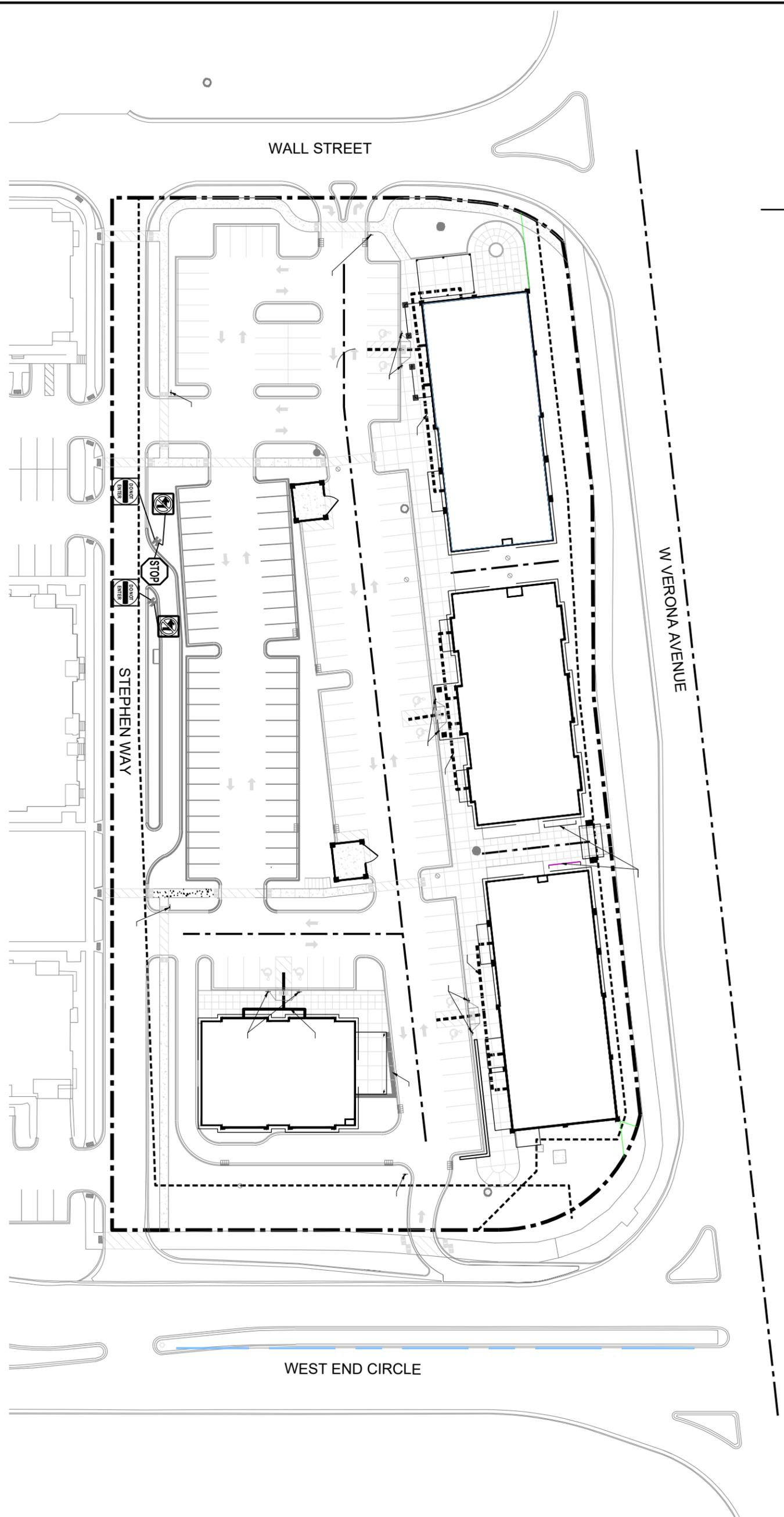
 Recoverable Signature

X Greg Polacheck

Greg Polacheck

Signed by: SUMMIT CREDIT UNION

Greg Polacheck, CCIM, CPM
Real Estate Manager
Summit Credit Union
709 Landmark Drive
Cottage Grove, WI 53527



STEVE BROWN APARTMENTS

SITE PLAN

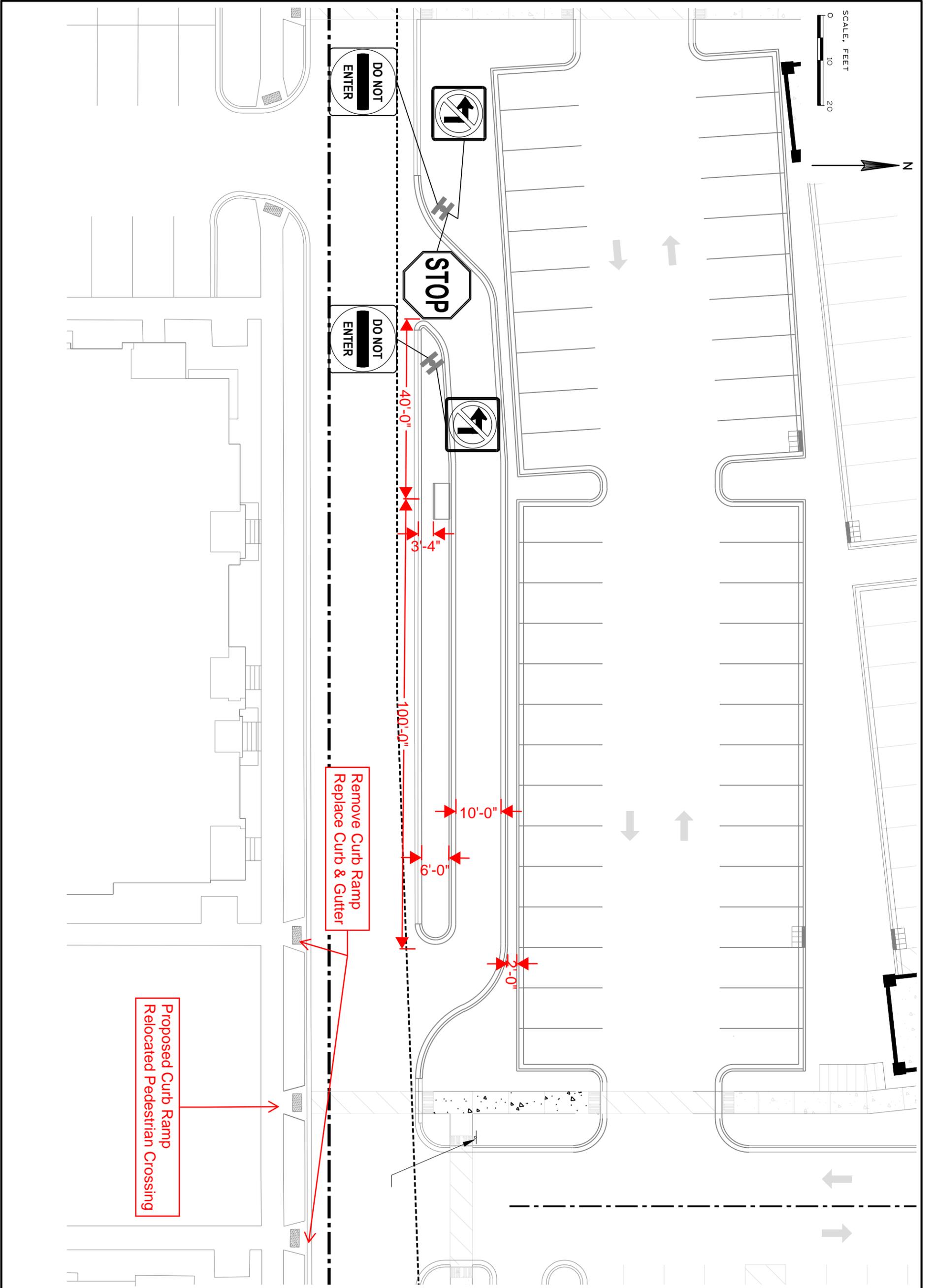
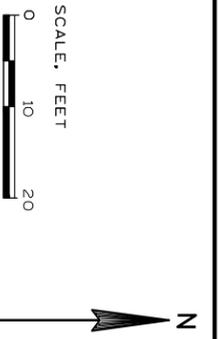
KL Engineering
 [A] Better Experience
 5400 King James Way
 Suite 200
 Madison, WI. 53719
 Phone: (608) 563-1218
 Phone: (800)-810-4012
<http://klengineering.com>
email@klengineering.com

Project No: XXXXXX-XX
 Date: 11-15-2019
 Designed By: XXX
 Drafted By: XXX
 Checked By: XXXX

Revisions: XX-XX-XXXX

SHEET NO.

1 OF 2



STEVE BROWN APARTMENTS

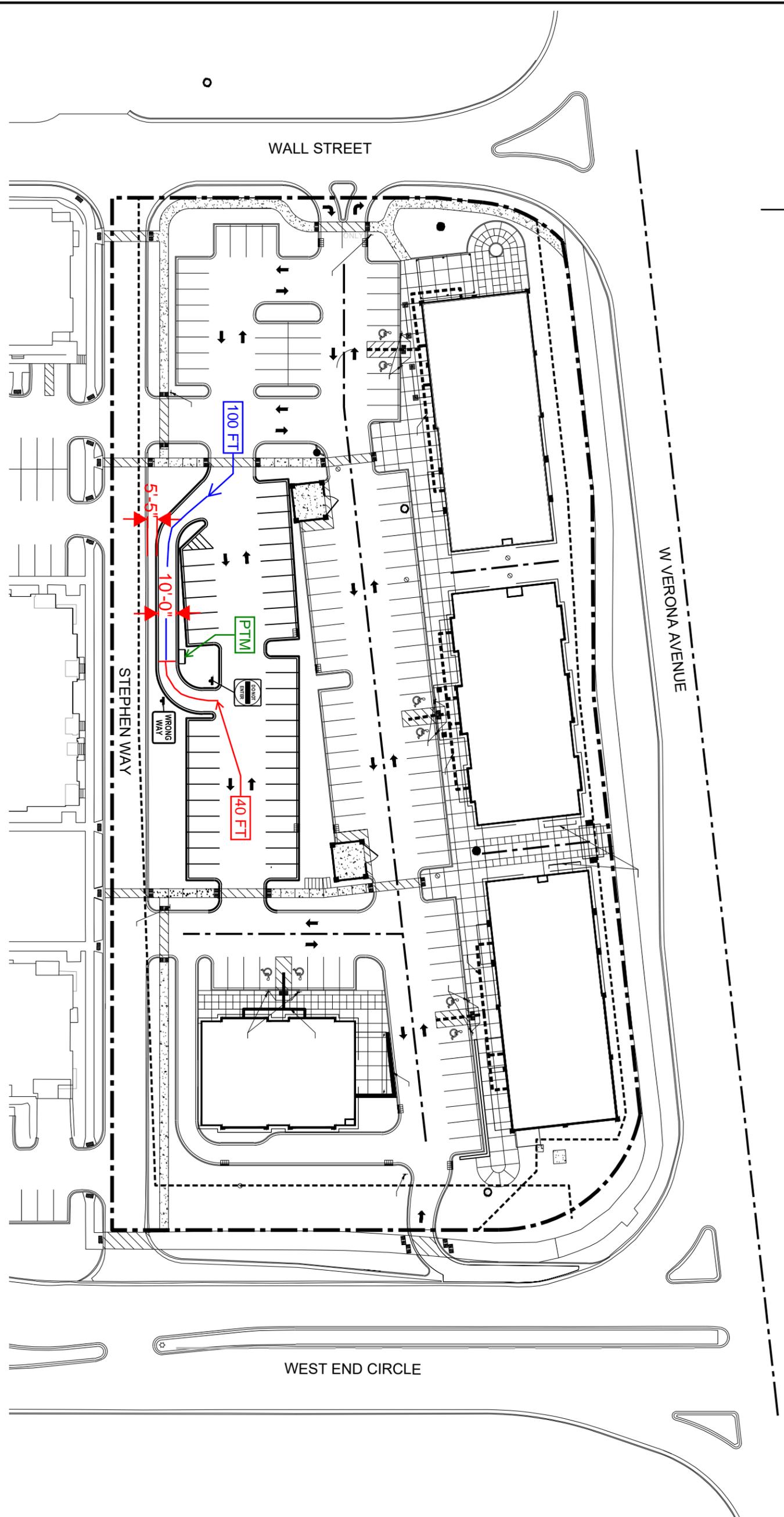
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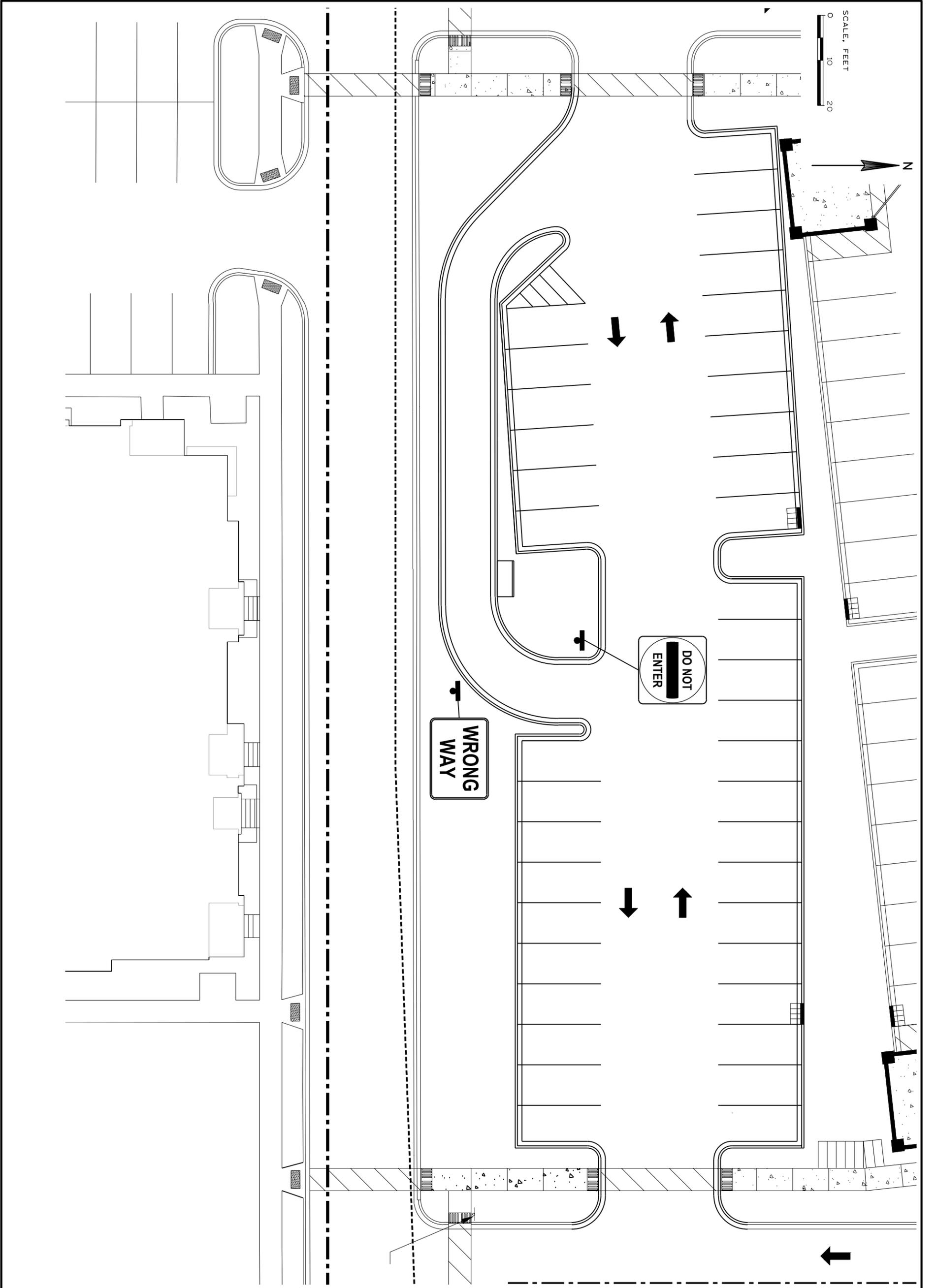
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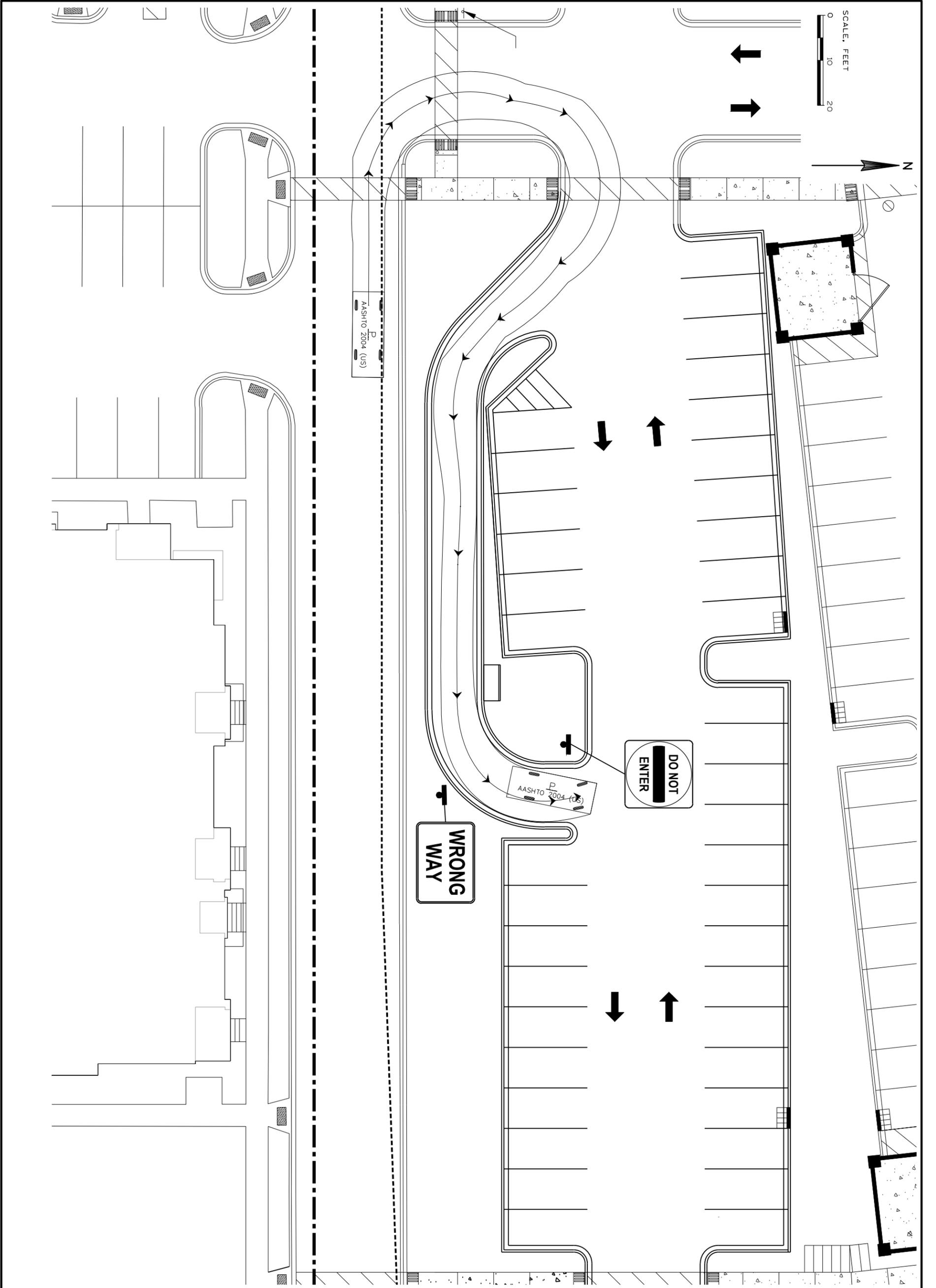
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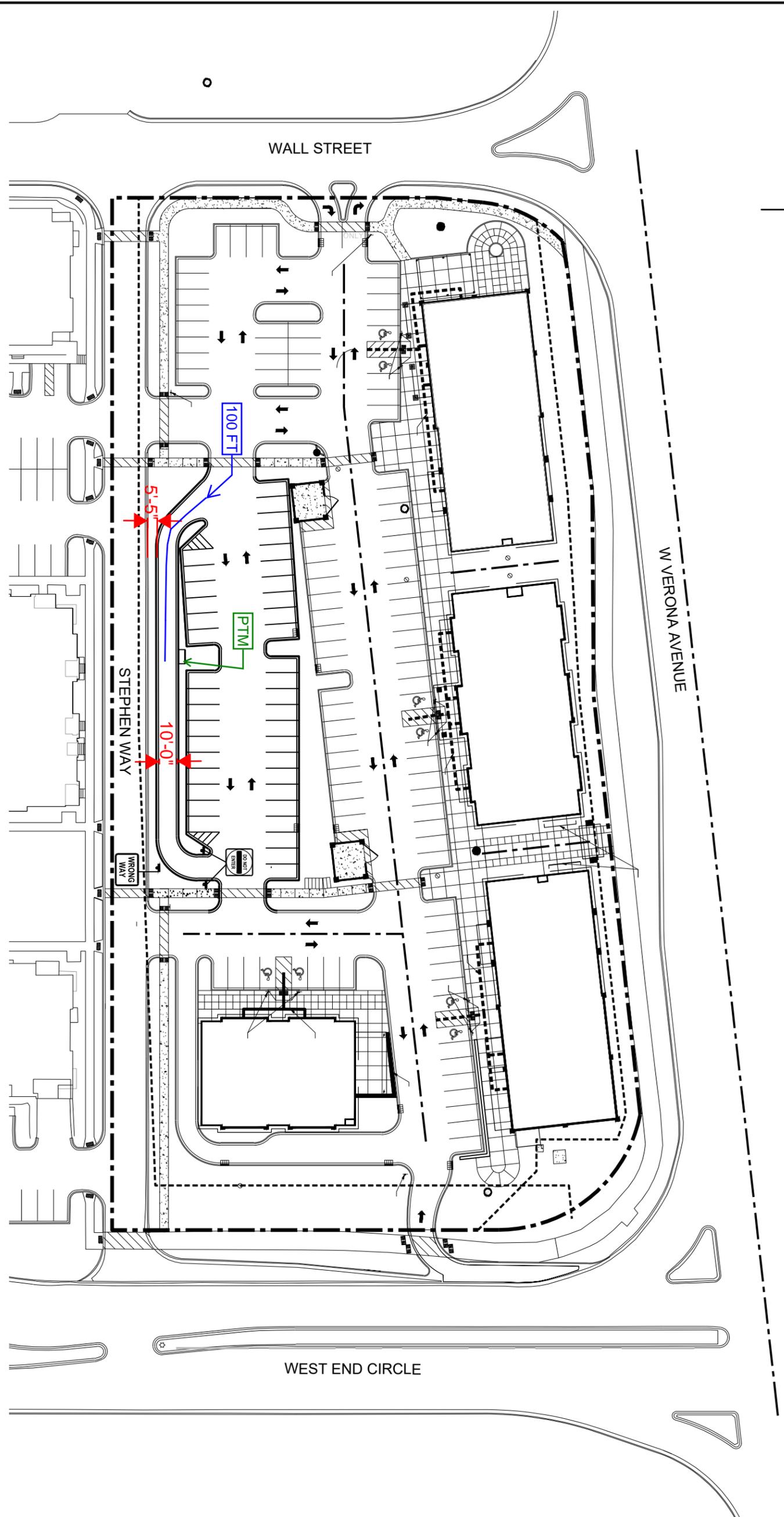
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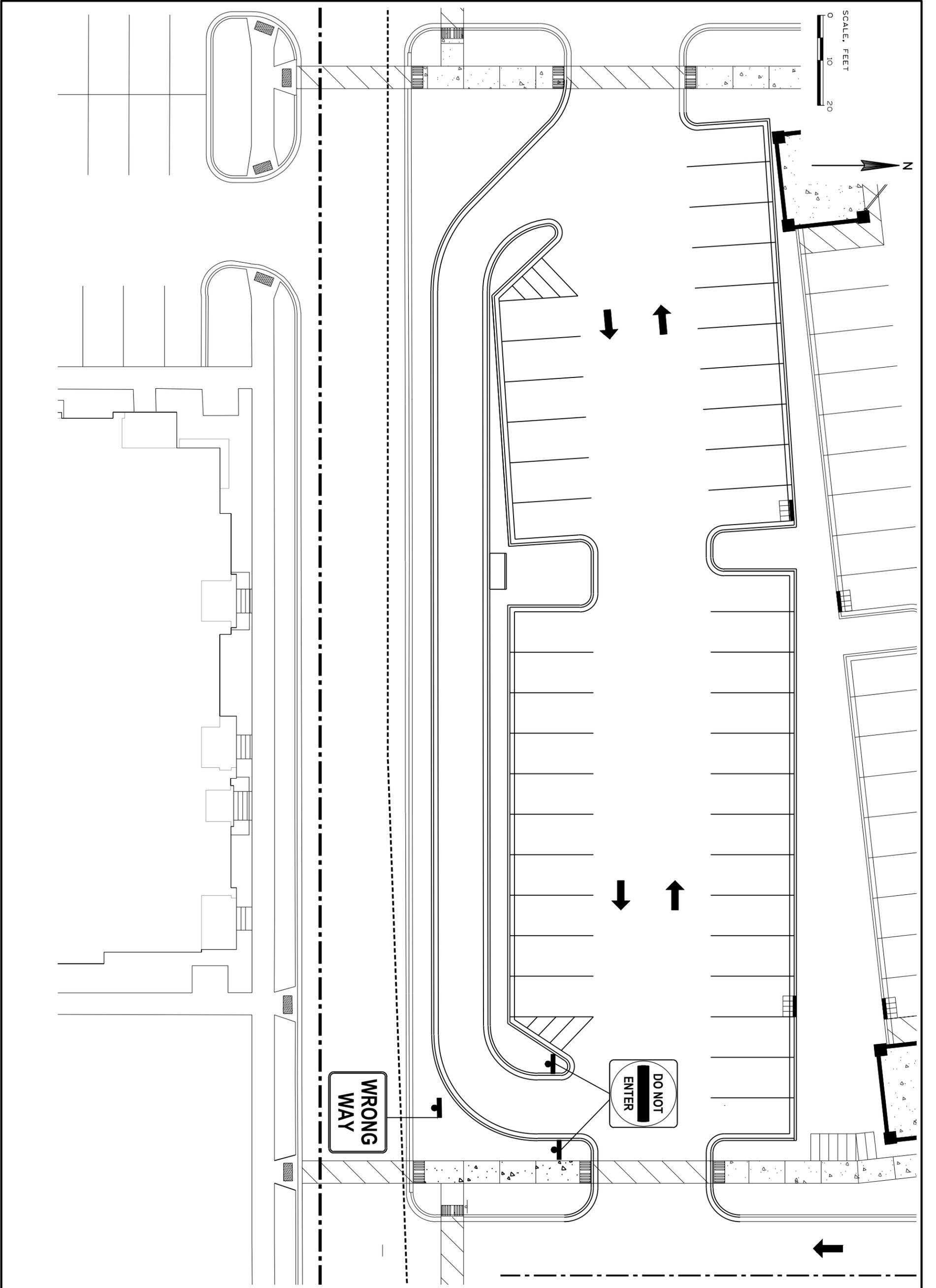
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Revisions: XX-XX-XXXX

SHEET NO.

4 OF 6



STEVE BROWN APARTMENTS

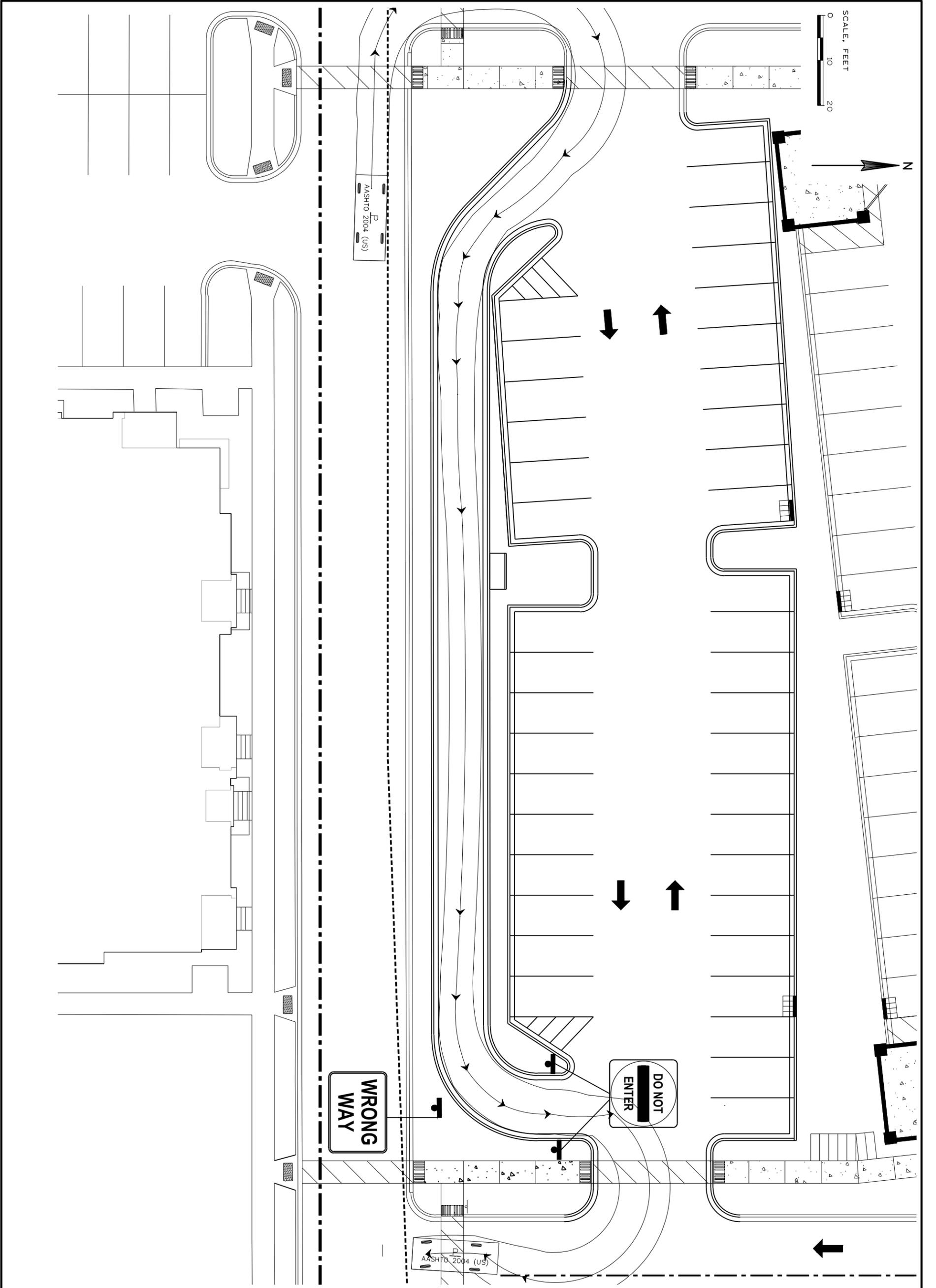
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 Drafted By: XXXX
 Checked By: XXXX
 Revisions: XX-XX-XXXX

SHEET NO.

RESOLUTION R-20-002

**A RESOLUTION TO APPROVE AN AMENDMENT TO A
CONDITIONAL USE PERMIT TO ALLOW A
GROUP DEVELOPMENT AT 1979 MILKY WAY**

WHEREAS, the proposed amendment to a Conditional Use Permit will allow for the construction of two (2) office buildings; and

WHEREAS, the amended conditional use will not be detrimental to the public, health, safety, and morals of the community; will not have a negative impact on the neighborhood property values, environment, of traffic; will not impede the orderly development of other properties within the vicinity; and

WHEREAS, the amended conditional use will not interfere with current traffic patterns, will not violate the requirements of the Verona Zoning Ordinance and will not violate Verona's flood plain requirements; and

WHEREAS, the Plan Commission held a public hearing on the proposed amendment to the Conditional Use Permit on January 6, 2020 and voted to recommend approval; and

NOW, THEREFORE, BE IT RESOLVED that the City of Verona Common Council approves the amended Conditional Use Permit to allow a Group Development at 1979 Milky Way.

Passed, signed and dated this 13th day of January, 2020.

CITY OF VERONA

SEAL

Luke Diaz, Mayor

Ellen Clark, City Clerk

Planning Report

City of Verona

Plan Commission 1-6-2020

Epic – Campus 5 – Phase 2

Site Plan and Conditional Use Permit Review

Summary: The Applicant is requesting a site plan review to construct two (2) office buildings on Camps 5. The proposed buildings will add 350 offices each. The proposed buildings require a conditional use permit amendment and site plan approval.

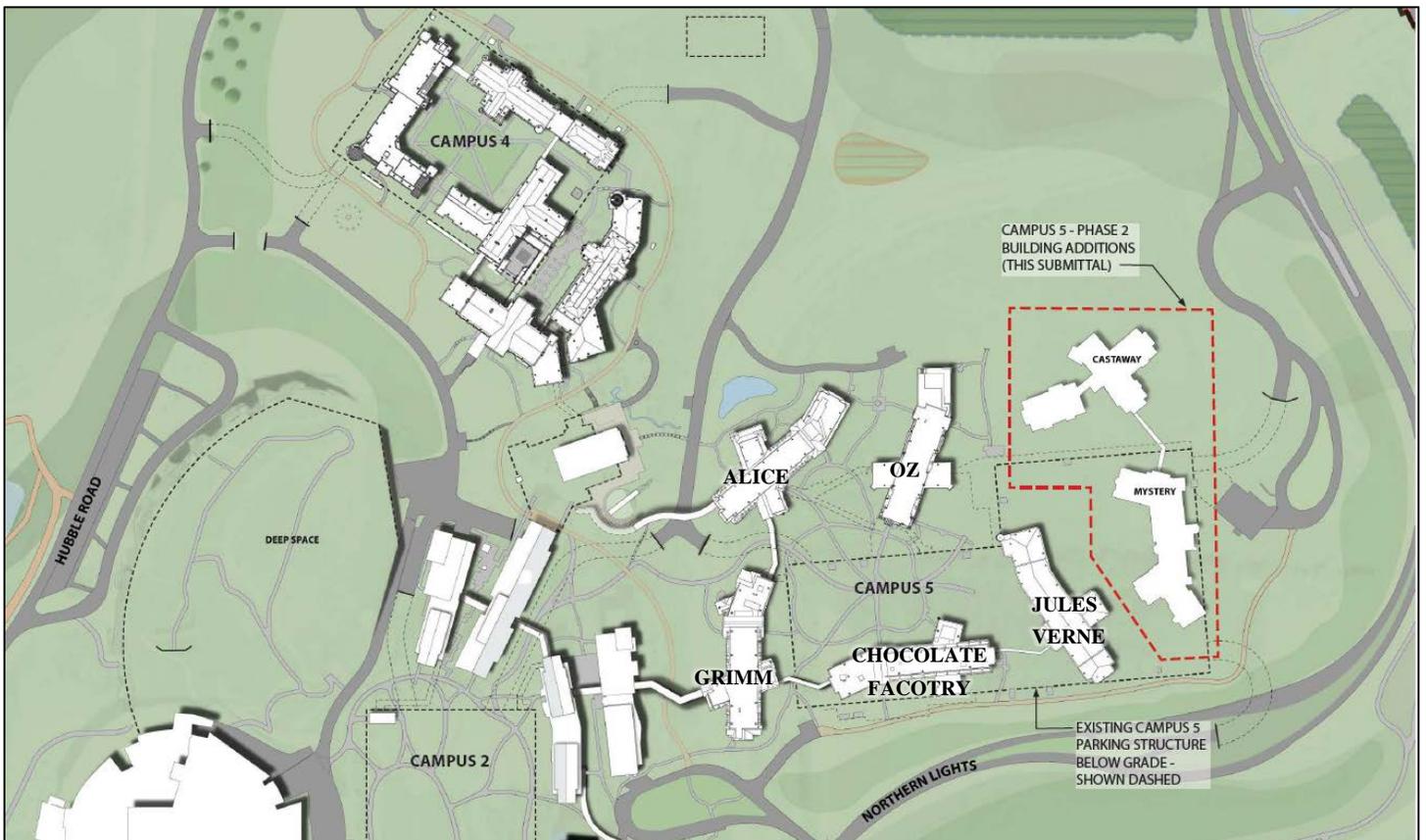
Property Location: 1979 Milky Way

Property Owner: Epic Systems Corporation
1979 Milky Way
Verona, WI 53593

Applicant: Same

Existing Zoning: Suburban Industrial (SI)
Existing Land Use: Vacant land and parking ramp
Proposed Land Use: Office buildings

Figure 1 – Location Map



Conditional Use Permit and Site Plan
Epic – Phase 2 of Campus 5

Background:

Epic is proposing to construct two (2) new office buildings (Mystery and Castaway) to the existing Campus 5. These two (2) buildings will add approximately 180,000 s.f. of floor space (approximately 90,000 s.f. and 350 offices, each). When completed, Campus 5 will contain a total of seven (7) buildings called Alice, Oz, Chocolate Factory, Grimm, Jules Verne (under construction), Mystery, and Castaway.

Below is a summary of Epic’s office campus construction and expansion in the City:

- **June 2003** – Campus 1 – City grants Epic a conditional use permit (CUP), group development, to construct Epic’s corporate headquarters with multiple buildings and structured parking.
- **February 2005** – CUP amended to allow construction of the “Learning Center”.
- **March 2007** – Campus 2 – CUP amendment to construct four (4) office buildings and structured parking.
- **March 2011** – Deep Space Auditorium – CUP amended to allow for the construction of an 11,000 – 13,000 seat auditorium.
- **December 2011** – Campus 3 – CUP amendment to allow for the construction of the Farm Campus, containing three (3) office buildings and structured parking.
- **May 2013** – Campus 4 – CUP amendment to allow for the construction of a 1,500 vehicle underground parking structure.
- **September 2013** – Food Service Building – CUP amendment to allow for the construction of a 64,000 square foot food service building.
- **November 2013** – Campus 4 – CUP amendment to allow for the construction of five (5) office buildings containing 1,580 offices known as the Wizards Academy.
- **February 2014** – Food Service Building – Site Plan amendment reducing the size of the food service building to 48,250 square feet.
- **May 2014** – Campus 5 – CUP amendment to allow for the construction of the Campus 5 underground parking structure.
- **February 2015** – Campus 5 – CUP amendment to allow for the construction of five (5) office buildings containing 1,600 new offices.
- **December 2019** – Plan Commission discussed the initial building and campus designs. They were encouraged by planting of trees and like the unique architecture.

The proposed buildings for Campus 5 Phase 2 require an amendment to Epic’s CUP and site plan approval.

Planning Review:

Bulk Requirements:

Similar to other buildings on the Campus, parts of Campus 5 Phase 2 buildings will be constructed over property lines. Epic has multiple buildings in the same situation. Epic

Conditional Use Permit and Site Plan
Epic – Phase 2 of Campus 5

has begun reviewing their property lines, easements, dedications, and conditions on the existing plats, which is tentatively scheduled for approval in March of 2020. Staff has no concerns with the lot lines.

Access:

Employee vehicular access will occur in the previously approved Campus 5 parking structure by the use of free-flow parking ramps from Northern Lights Road. Employees will continue to access the campus by tunnels and skyways. Castaway will have a below grade connection to the parking ramp as well as a skyway to Mystery. Mystery is located on top of the existing underground parking structure and will have a skyway to Jules Verne, which is under construction. Staff has no concerns with access.

Parking:

As previously stated, Mystery will be located on top of the existing underground parking structure. Sufficient parking is provided within this structure and other parking facilities on the Campus. Staff has no concerns with the parking for Campus 5, as most vehicles will park in the 3,076 stall underground parking ramp.

Drainage/Stormwater:

New impervious surface of approximately 114,000 s.f. will be added as part of this project. The Applicant provided a detailed stormwater management plan. Staff has no concern at this time.

Architecture:

As with all the buildings on Epic’s Campus, the proposed buildings will be unique to the Epic campus. Mystery will contain metal shingle roof, stone, patina copper, and brick as depicted in Figure 2. Castaway will contain wood, corrugated metal roof, metal, and stone as depicted in Figure 3. Staff has no concerns with proposed building materials or designs.



Figure 2 - Mystery Building

Conditional Use Permit and Site Plan
Epic – Phase 2 of Campus 5



Figure 3 - Castaway Building

Conditional Use Permit Findings:

The Applicant is requesting approval for an amendment to a Group Development, which is listed as a conditional use in the City's Zoning Ordinance. The Zoning Ordinance requires all conditional uses to fulfill general standards and specific standards for all CUP requests.

General Standards Findings:

1. *How is the proposed conditional use (in general) in harmony with the purposes, goals, objectives, policies and standards of the City of Verona Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or Chapter adopted, or under consideration pursuant to official notice by the City?*

The subject site is used for office purposes. The proposed buildings will provide additional office space for employees.

2. *How is the proposed conditional use (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the City of Verona Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?*

The proposed buildings are adjacent to Epic's corporate offices. The site is already served by public utilities and roadways.

3. *Does the conditional use, in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted by the City or other governmental agency having jurisdiction to guide development?*

The proposed buildings are well served by existing and future roadways. Sensitive environmental areas such as steep slopes or wetlands have been protected in environmental corridors.

Conditional Use Permit and Site Plan
Epic – Phase 2 of Campus 5

4. *Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?*

The proposed buildings will be an extension of the previously approved corporate campus and will maintain a consistency of land uses within the surrounding area.

5. *Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?*

The proposed buildings will not impose an undue burden on public facilities and services in the area as they are already provided.

6. *Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts?*

The benefits of the proposed use outweigh any adverse impacts in the neighborhood.

Specific Standards Findings:

1. *All required off-street parking spaces and access drives shall be located entirely within the boundaries of the group development.*

This requirement has been met.

2. *The development shall contain a sufficient number of waste bins to accommodate all trash and waste generated by the land uses in a convenient manner.*

This requirement has been met.

3. *No group development shall take access to a local residential street.*

This requirement has been met.

4. *All development located within a group development shall be located so as to comply with setbacks of structures and buildings from lot lines.*

This requirement has been met.

Recommendation:

Staff recommends the following Plan Commission action:

Conditional Use Permit and Site Plan
Epic – Phase 2 of Campus 5

1. Recommend that the Common Council approve an amendment to Epic's group development conditional use permit to allow for the construction of two (2) office buildings on Campus 5.
2. Approve the site plan for two (2) office buildings on Campus 5 to be located at 1979 Milky Way.

Prepared by: Katherine Holt *KH*
Community Development Specialist

Submitted by: Adam Sayre, AICP *AS*
City Administrator

Epic Systems – Campus 5 Phase 2 Project Description

Epic proposes to expand their existing corporate campus located at 1979 Milky Way – Verona. This proposed expansion, Campus 5 Phase 2, will add two new office buildings (Mystery and Castaway) to the existing Campus 5. These two buildings will add approximately 180,000 sf of floor space (approximately 90,000 square feet and 350 offices, each). When complete, Campus 5 will have a total of seven buildings and a combined area of approximately 700,000 sf of floor space

Mystery will be located on top of the existing underground parking structure (Campus 5 Ramp). It will be connected to Jules Verne (currently under construction) with a skyway. Castaway will be located just north of the Campus 5 Ramp. Castaway will have a below grade connection to the Parking Ramp as well as a skyway to Mystery.

There are no new exterior areas for trash or recycling. Refuse will to be handled internally and directed to existing screened facilities on the Epic Campus.

The existing Campus 5, office buildings and parking structure, are surrounded by utilities and fire access. Alice, Oz, Chocolate Factory, and Grimm are already occupied with Jules Verne under construction. The two proposed structures will be served by the existing facilities.

With approval of the proposed design, Mystery construction is expected to begin in 2020 with Castaway to follow in 2021.

Mystery and Castaway will use quality exterior materials similar to other Campus 5 buildings. Similarly, each building will be uniquely landscaped to a level that is in-line with the surrounding Epic campuses.

The last stormwater plan from 07-27-2015 included additional impervious square footage. The proposed Campus 5 expansion (Mystery and Castaway) and approximately 48,000 square feet of hardscape (firelane, minor surface parking, and sidewalks) had been previously accounted for in the approved stormwater management plan.

Epic will continue to pursue down lighting at building entrances and employee paths with emphasis on minimizing light pollution.



CAMPUS -5 PHASE - II

Site Plan Details

Total Property Area within Urban Service Area	649.3 ac
Campus 1	
Building Footprint Area	315,947 sf
Sidewalk	53,570 sf
Gravel Path	30,000 sf
Total Campus 1 Impervious	399,517 sf (9.17 ac)
Learning Campus	
Building Footprint Area	415,000 sf
Sidewalk	25,000 sf
Total Learning Campus Impervious	440,000 sf (10.10 ac)
Campus 2	
Building Footprint Area	212,000 sf
Surface Parking	10,000 sf
Sidewalk	30,000 sf
Hardscapes near buildings	50,000 sf
Total Campus 2 Impervious	302,000 sf (6.9 ac)
Deep Space	
Building Footprint Area (Buried)	340,000 sf
Surrounding Hardscapes	40,000 sf
Total Deep Space Impervious	40,000 sf (0.9 ac)
Farm Campus	
Building Footprint Area	99,000 sf
Sidewalk	20,500 sf
Total Farm Campus Impervious	119,500 sf (2.75 ac)
King's Cross	
Building Footprint Area	12,600 sf
Surrounding Hardscapes	21,000 sf
Total Foodservice Impervious	33,000 sf (0.75 ac)
Campus 4	
Underground Parking Footprint	205,995 sf
Proposed Building Footprint Area	157,149 sf
Sidewalks / Hardscapes	61,073 sf
Total Campus 4 Impervious	218,222 sf (5 ac)
Campus 5	
Underground Parking Footprint	420,000 sf
Building Footprint Area	180,000 sf
Surrounding Hardscapes	120,000 sf
Phase 2 Buildings	65,000 sf
Phase 2 Hardscape (Approximate Only)	48,000 sf
Total Campus 5 Impervious	413,000 sf (5 ac)
General Site	
Site Roads (Includes temp surface parking)	-58.9 ac
Open Water-	-18.0 ac

Total Impervious	121.07 ac
Total Green Space	528.23 ac
Percent Impervious	18.6%

Campus Parking Count

Campus 1	
Zodiac Ramp	1,215 Cars
Zodiac Ramp (Exposed)	175 Cars
Surface	20 Cars
Campus 2	
Yoda Ramp	2,025 Cars
Surface	5 Cars
CAMPUS 3	
Farmyard Ramp	1,070 Cars
Surface	7 Cars
Campus 4	
Abyss Ramp	2,065 Cars
Surface	13 Cars
Campus 5	
Jabberwocky Ramp	3,076 Cars
Surface	10 Cars

Total Parking ~9,500 Spaces



CITY OF VERONA DANE COUNTY, WISCONSIN

INDEX OF SHEETS

1. CG-001 COVER SHEET
2. CG-051 CIVIL - CAMPUS 5 SITE PLAN
3. CS-101 CIVIL - GRADING PLAN
4. EC-201 CIVIL - EROSION CONTROL PLAN
5. CU-401 CIVIL - UTILITY PLAN
6. ARCH - SITE PLAN
7. ARCH - MYSTERY-BUILDING ELEVATIONS
8. ARCH - MYSTERY-BUILDING FLOOR PLANS
9. ARCH - CASTAWAY-BUILDING ELEVATIONS
10. ARCH - CASTAWAY-BUILDING FLOOR PLANS

LEGEND

	LIGHT POLE
	SIGN
	FIELD INLET
	CATCHBASIN
	SANITARY MANHOLE
	HYDRANT PROPOSED
	HYDRANT EXISTING
	VALVE PROPOSED
	VALVE EXISTING
	ELECTRIC
	GEO THERMAL
	SANITARY SEWER
	STORM SEWER
	WATER MAIN
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PAVEMENT SAWCUT
	BITUMINOUS PAVEMENT
	UTILITY REMOVAL
	TREE REMOVAL

COVER SHEET

CAMPUS - 5 PHASE-II C.U.P. AMENDMENT

CITY OF VERONA, DANE COUNTY, WISCONSIN



DATE: 10-15-19

REVISED:

DRAWN BY: YM

FN: 12-05-130

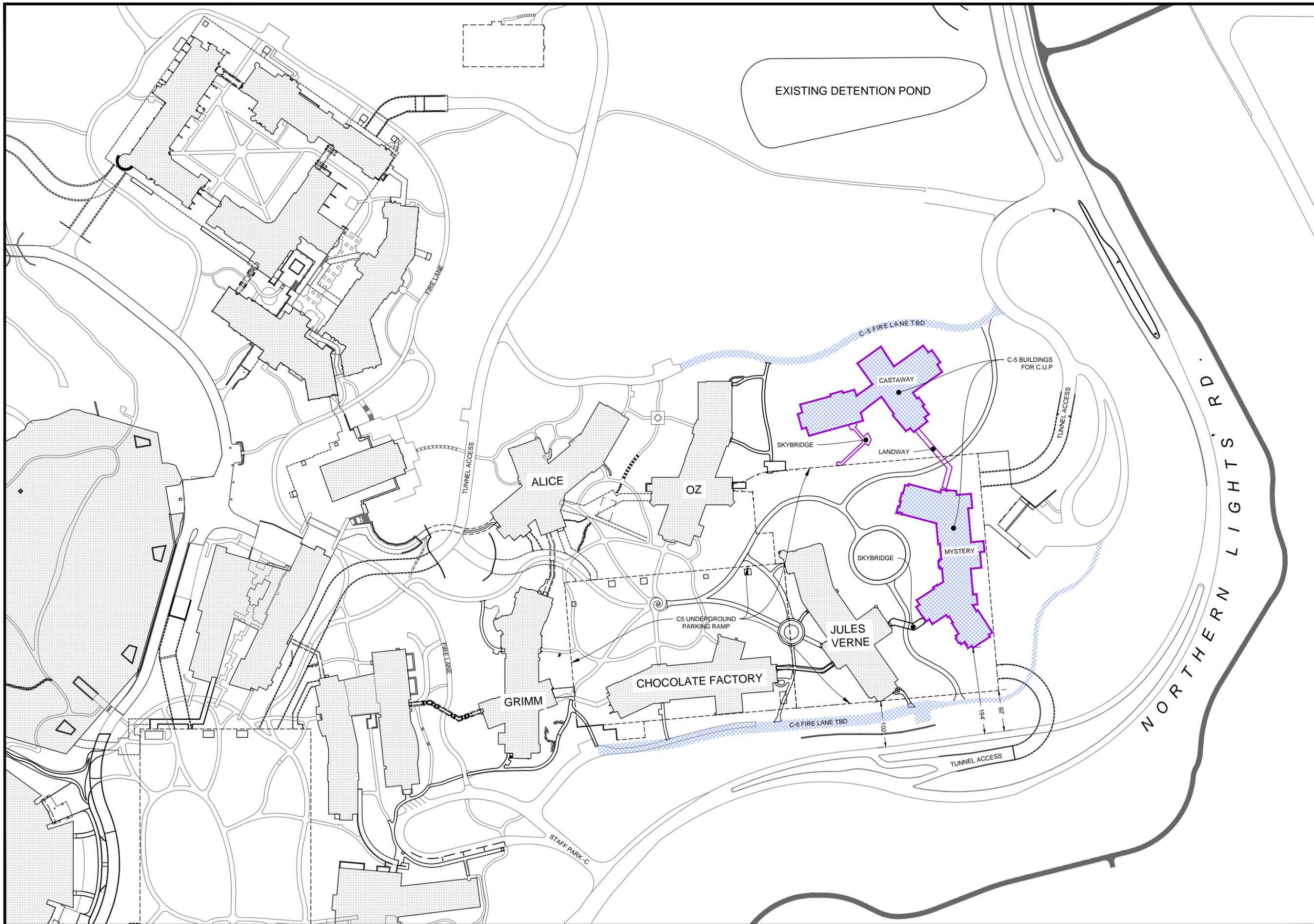
Sheet Number:

CG-001

OWNER:
EPIC SYSTEMS CORPORATION
CONTACT: TOD SLOAN
1979 MILKY WAY
VERONA, WI 53593
608-271-9000

ARCHITECT:
CUNNINGHAM GROUP ARCHITECTURE
CONTACT: BRIAN TUCKER, AIA, LEED AP
201 MAIN STREET SE, SUITE 325
MINNEAPOLIS, MN 55414
312.379.3400

CIVIL ENGINEERING / LAND SURVEYOR:
D'ONOFRIO, KOTTKE & ASSOCIATES, INC.
CONTACT: NATHAN LOCKWOOD, P.E.
7530 WESTWARD WAY
MADISON, WI 53717
608-833-7530



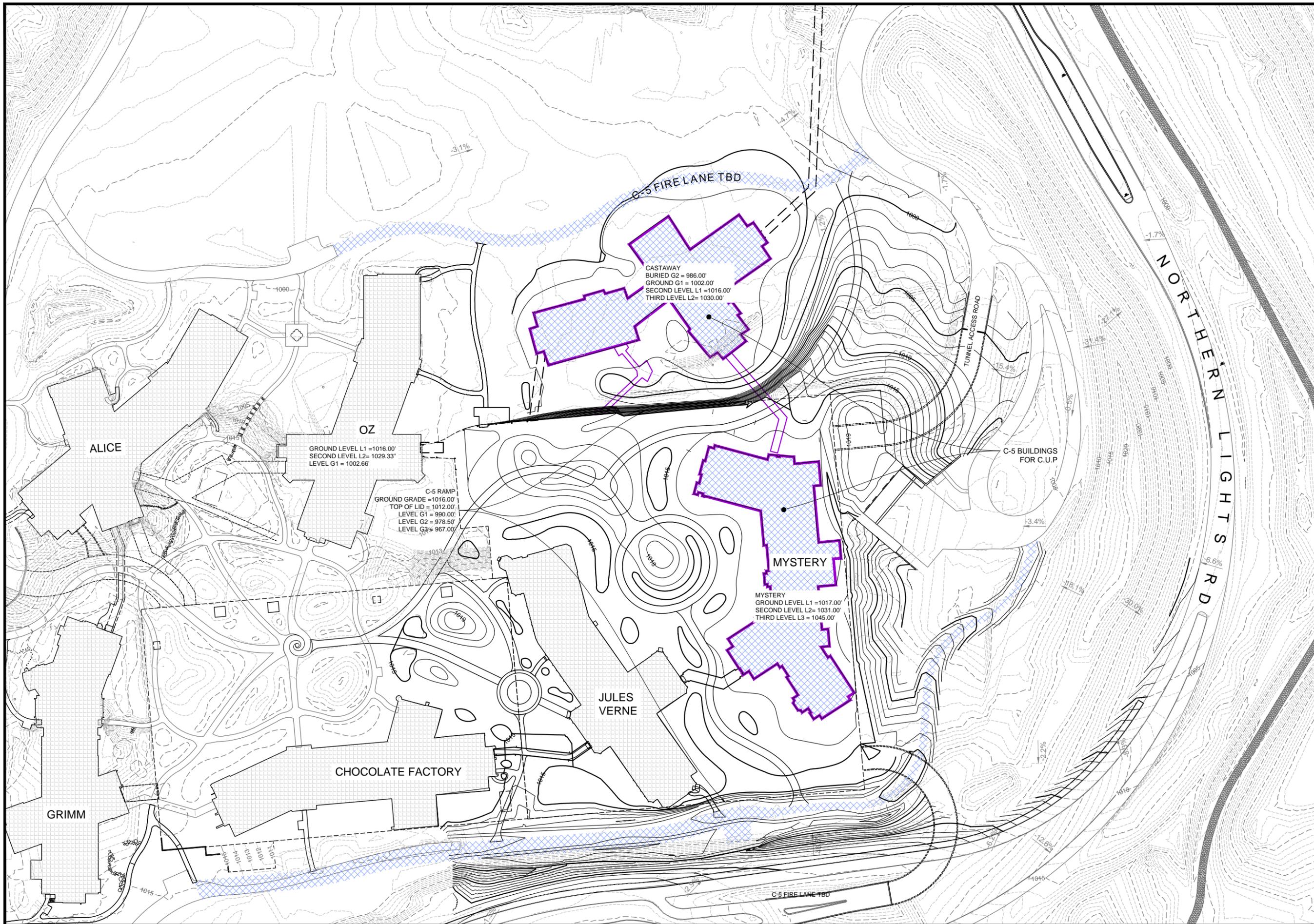
D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7550 Wavered Way, Madison, WI 53717
 Phone: 608.895.7550 • Fax: 608.899.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

SITE PLAN
CAMPUS - 5 PHASE-II
C.U.P. AMENDMENT
 CITY OF VERONA, DANE COUNTY, WISCONSIN



DATE: 10-15-19
 REVISED: REV # DR #

DRAWN BY: YM
 Sheet Number:
CG-051



GRADING PLAN
CAMPUS - 5 PHASE-II
 C.U.P. AMENDMENT

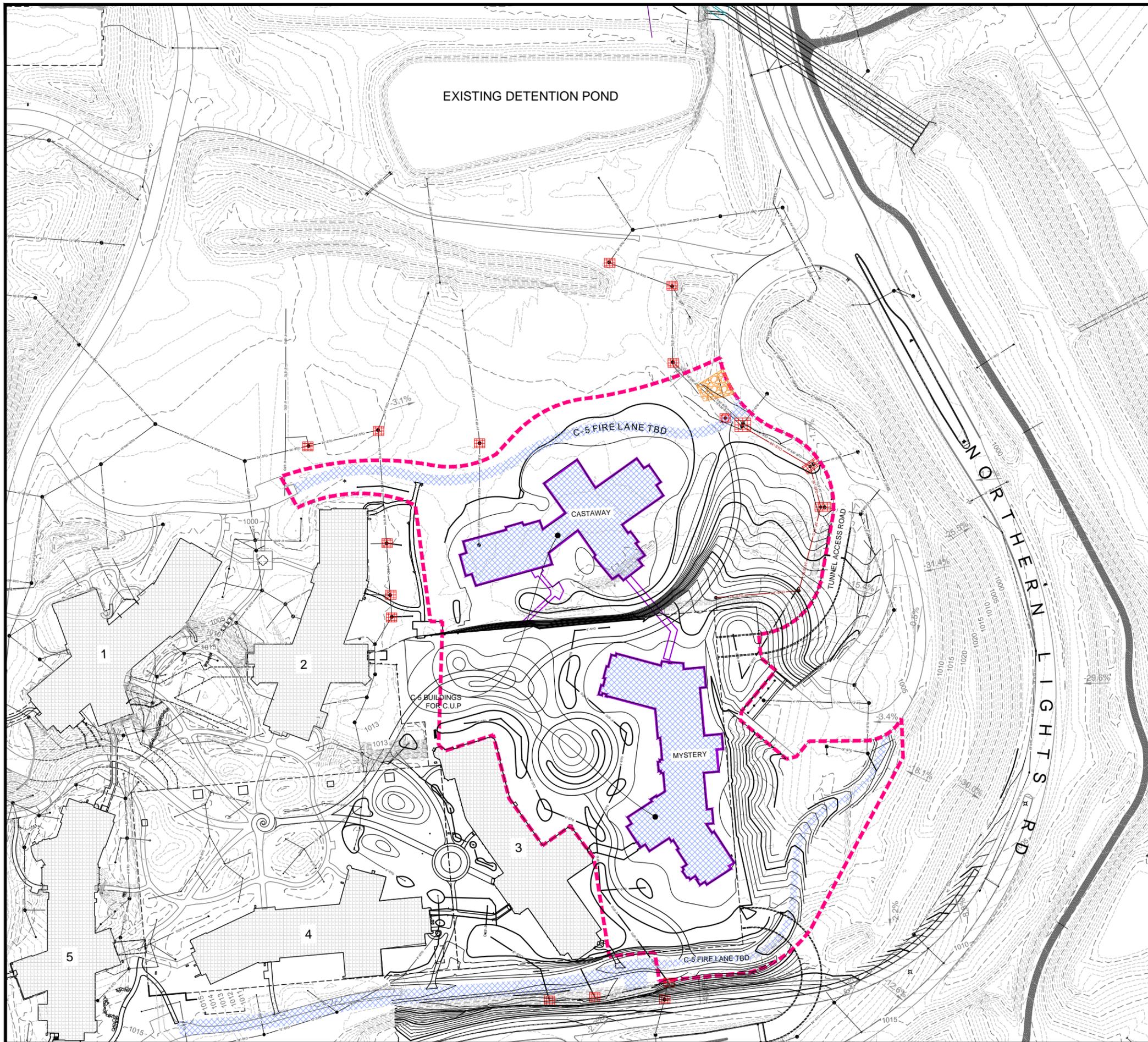
CITY OF VERONA, DANE COUNTY, WISCONSIN



DATE: 10-15-19
 REVISED: REV # DR #

DRAWN BY: YM

Sheet Number:
CS-101



PROJECT LEGEND

	PROPOSED CONTOURS
	EXISTING CONTOURS
	SILT SOCK DIA. = 8" MIN.
	DISTURBED AREA
	CONSTRUCTION ENTRANCE
	INLET PROTECTION

AREA OF DISTURBANCE = 479,075 SF = 11. -AC

GRADING AND EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
8. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1 WITH THE EXCEPTION OF SLOPES SURROUNDING THE UPSTREAM INLET OF THE CULVERT. 2:1 SLOPES IN THIS AREA SHOULD BE STABILIZED USING CLASS I, TYPE B EROSION MAT.
9. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
10. ALL INCIDENTAL MUD TRACKING FROM CONSTRUCTION AND MATERIAL HAULING WILL OCCUR ON INTERNAL ROADS. TRACKING WILL BE KEPT ON-SITE AND CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
11. ANY DISTURBED AREA EXPECTED TO BE DORMANT FOR GREATER THAN 5 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH.
12. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
13. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
14. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST.
15. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.
16. CONTRACTOR SHALL VERIFY DEPTH OF ALL UTILITIES TO ENSURE PROPOSED GRADES HAVE ENOUGH COVER.

D'AMORIO KOTTLE AND ASSOCIATES, INC.
 7550 Waverford Way, Madison, WI 53717
 Phone: 608.895.7550 • Fax: 608.899.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

EROSION CONTROL PLAN

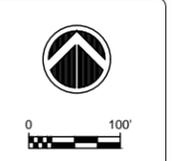
CAMPUS - 5 PHASE-II
C.U.P. AMENDMENT

CITY OF VERONA, DANE COUNTY, WISCONSIN



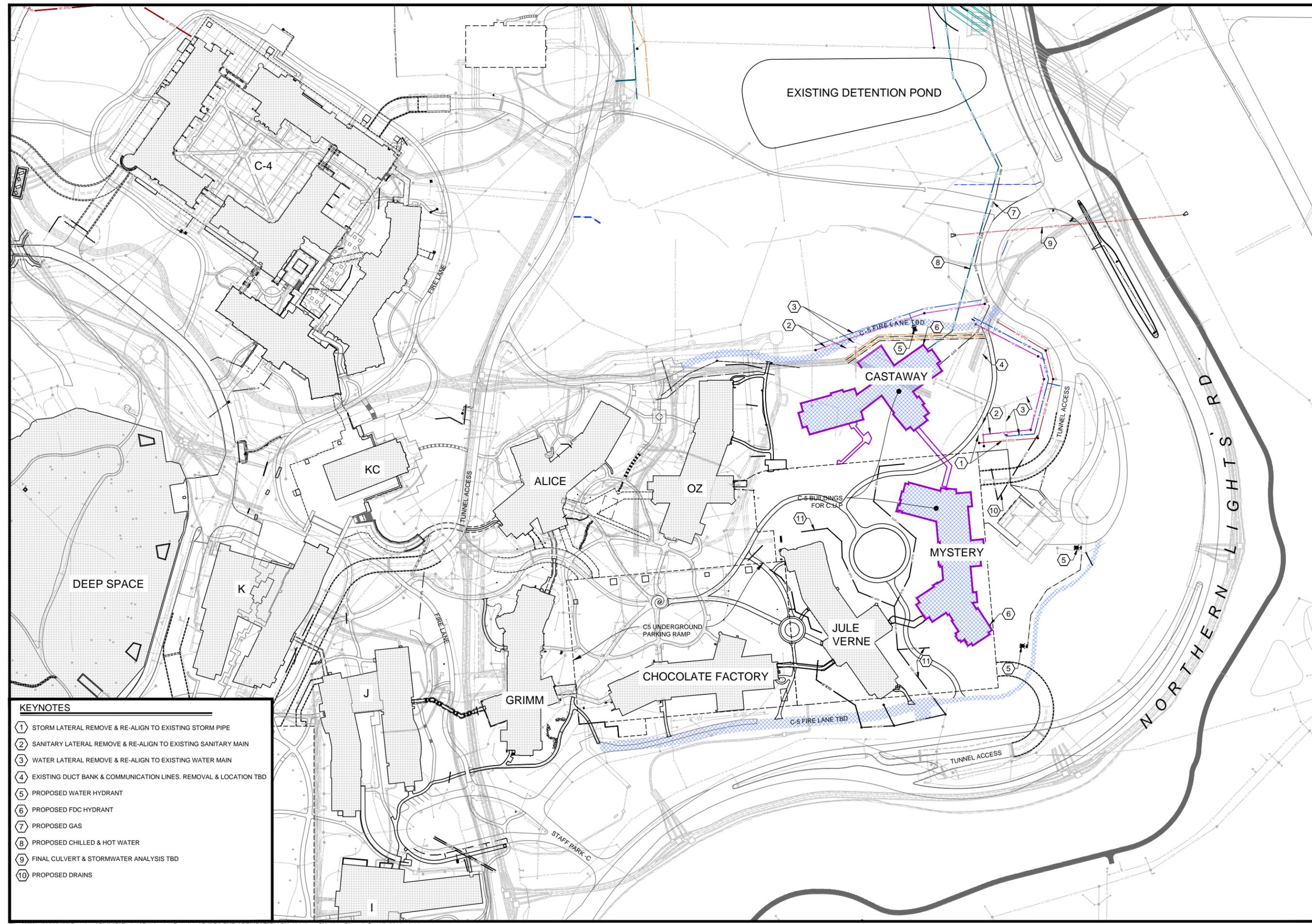
DATE: 10-15-19
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DRAWN BY: YM
 Sheet Number:
EC-201



DATE: 10-15-19
 REVISED: REV # DR #

DRAWN BY: YM
 Sheet Number:
CU-401



- KEYNOTES**
- 1 STORM LATERAL REMOVE & RE-ALIGN TO EXISTING STORM PIPE
 - 2 SANITARY LATERAL REMOVE & RE-ALIGN TO EXISTING SANITARY MAIN
 - 3 WATER LATERAL REMOVE & RE-ALIGN TO EXISTING WATER MAIN
 - 4 EXISTING DUCT BANK & COMMUNICATION LINES. REMOVAL & LOCATION TBD
 - 5 PROPOSED WATER HYDRANT
 - 6 PROPOSED FDC HYDRANT
 - 7 PROPOSED GAS
 - 8 PROPOSED CHILLED & HOT WATER
 - 9 FINAL CULVERT & STORMWATER ANALYSIS TBD
 - 10 PROPOSED DRAINS



CAMPUS 5 - PHASE 2
BUILDING ADDITIONS
(THIS SUBMITTAL)

CASTAWAY

MYSTERY

CAMPUS 5

CAMPUS 4

DEEP SPACE

CAMPUS 2

EXISTING CAMPUS 5
PARKING STRUCTURE
BELOW GRADE -
SHOWN DASHED

NORTHERN LIGHTS

HUBBLE ROAD





SKYBRIDGE

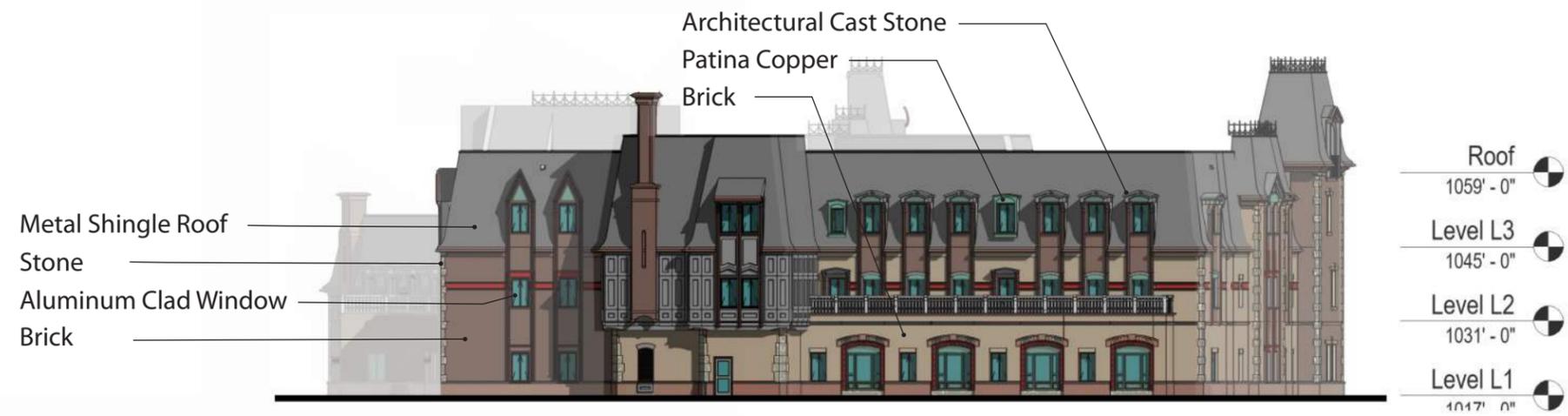
CAMPUS 5B PHASE 2
BUILDING ADDITIONS
(THIS SUBMITTAL)

LANDWAY

SKYBRIDGE

EXISTING CAMPUS 5 PARKING
STRUCTURE BELOW GRADE





North Elevation

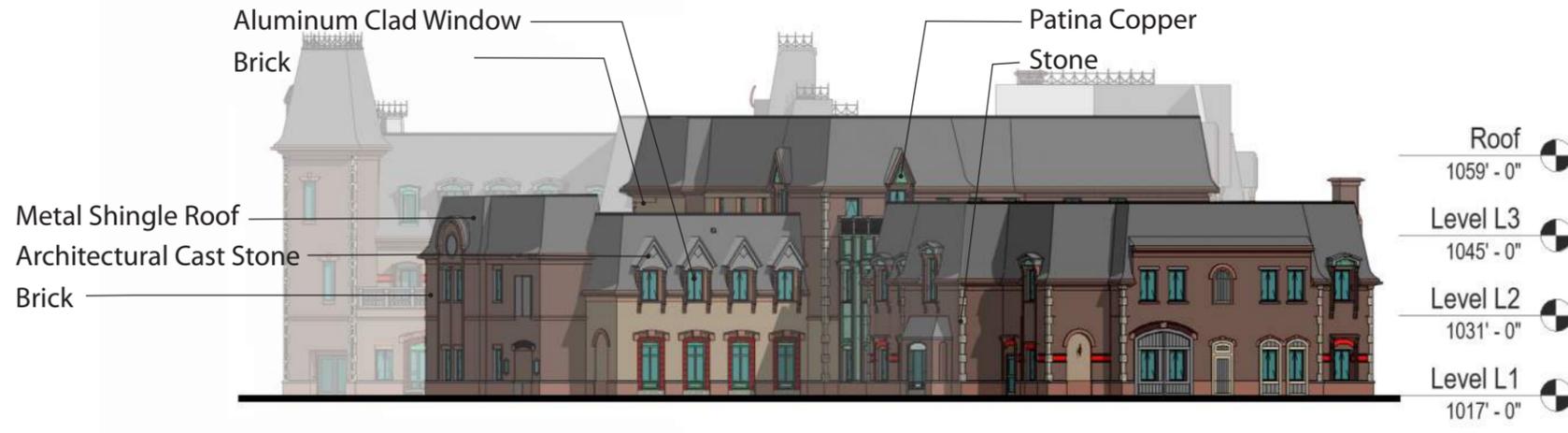
Scale 1:30



West Elevation

Scale 1:30



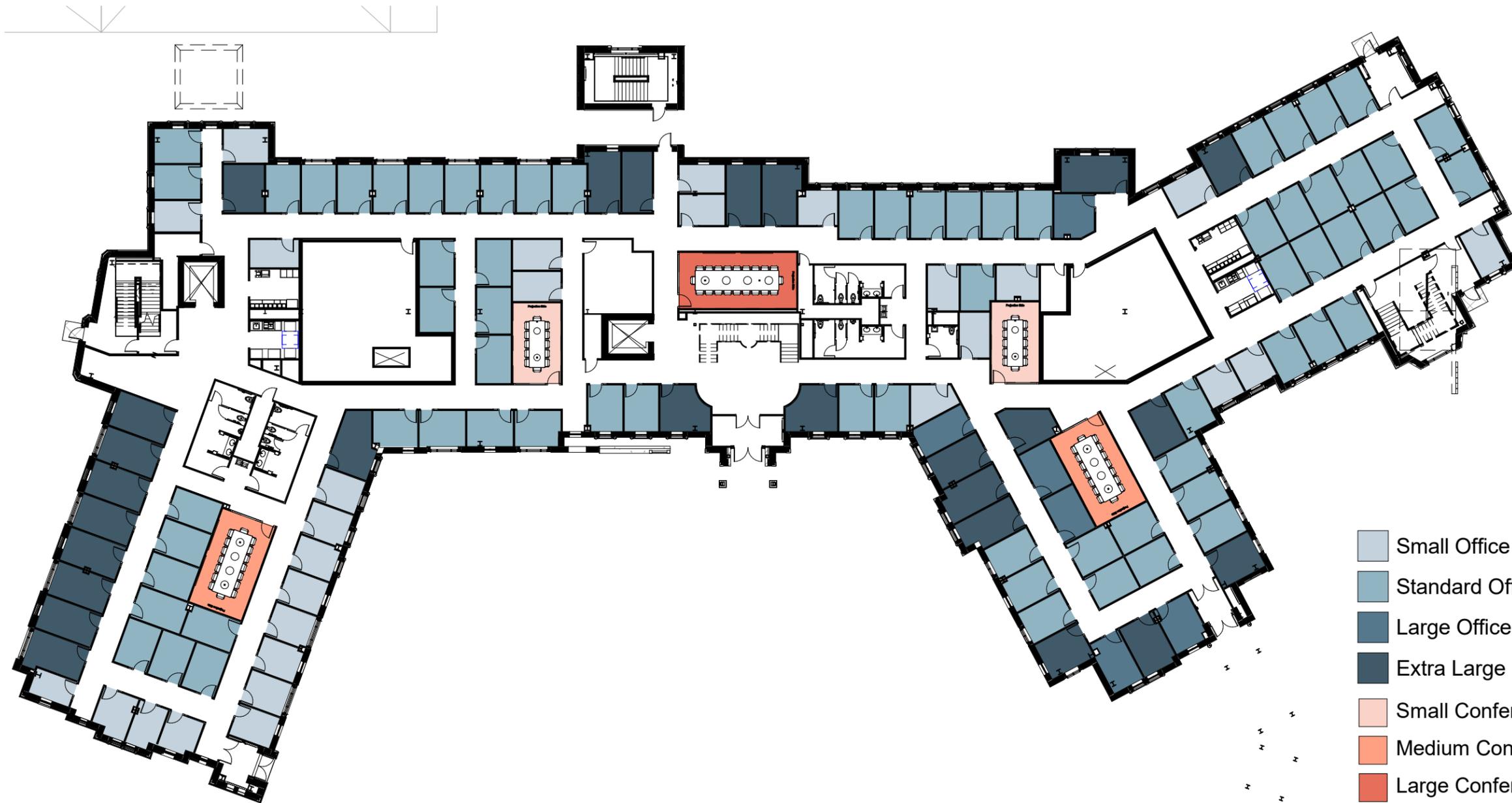


South Elevation
Scale 1:30



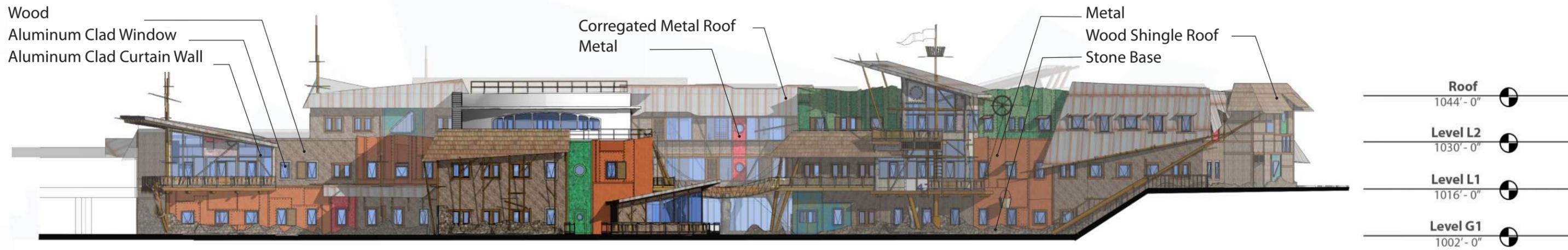
East Elevation
Scale 1:30





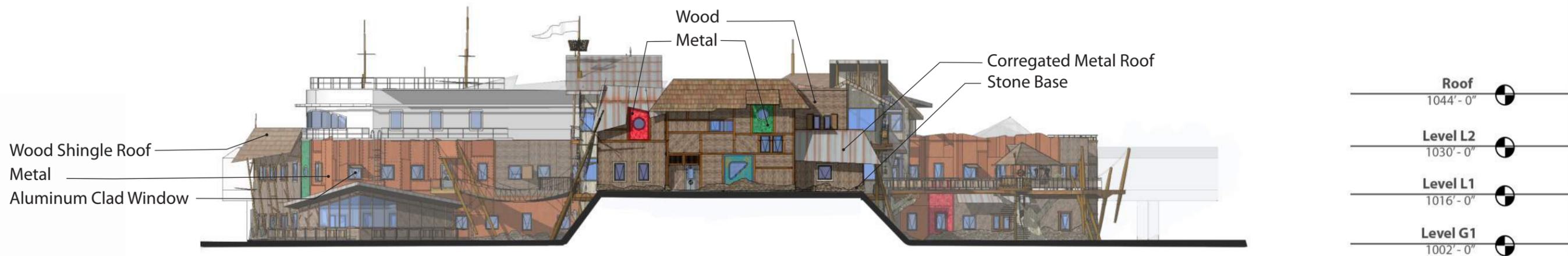
- Small Office > - 5%
- Standard Office +/- 5%
- Large Office +5 - 10%
- Extra Large Office > + 10%
- Small Conference
- Medium Conference
- Large Conference





North Elevation

Scale 1:30



West Elevation

Scale 1:30





South Elevation

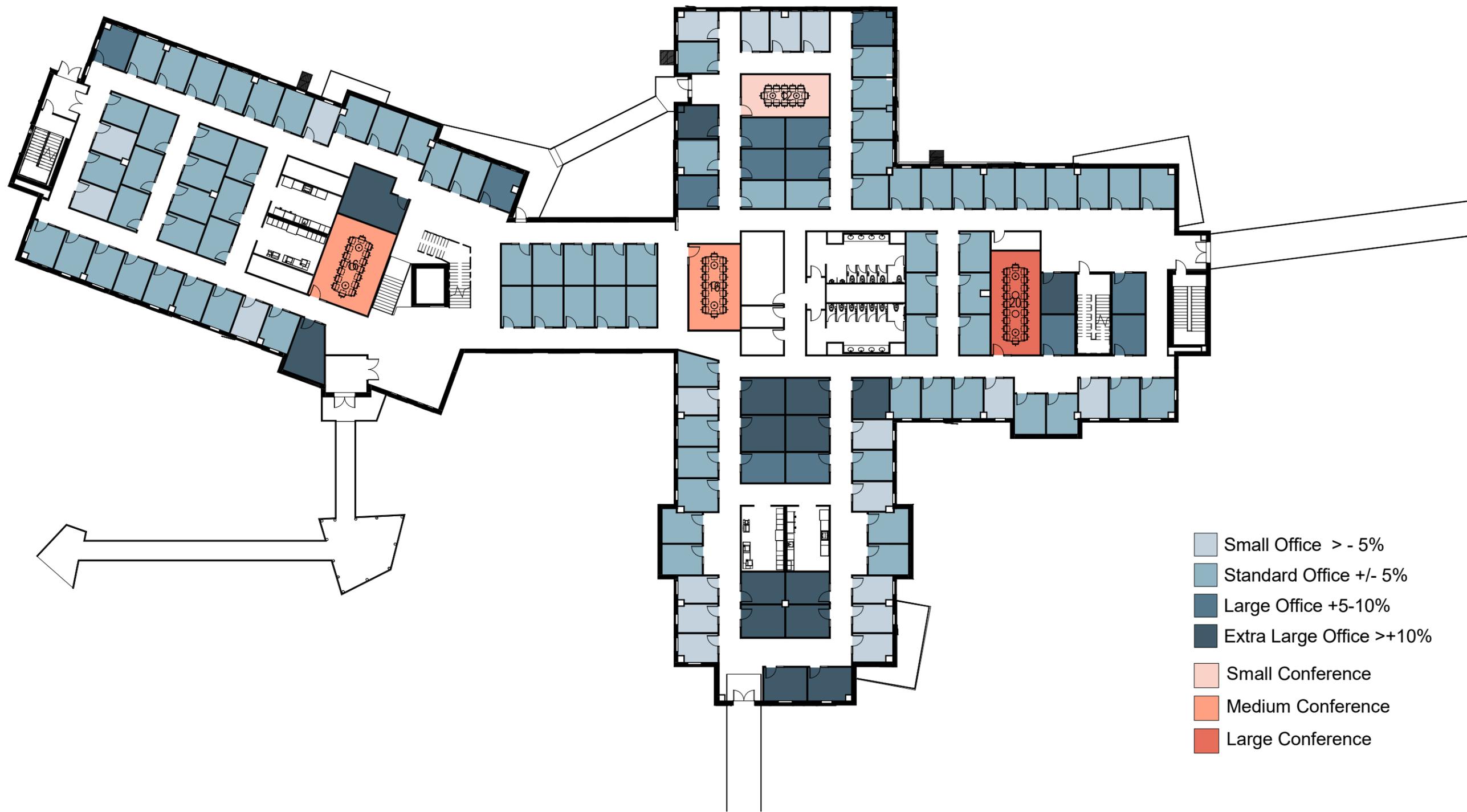
Scale 1:30



East Elevation

Scale 1:30





- Small Office > - 5%
- Standard Office +/- 5%
- Large Office +5-10%
- Extra Large Office >+10%
- Small Conference
- Medium Conference
- Large Conference



Prepared by and Upon Recording, Return to:
Sittig Cortese LLC
Joseph A. Cortese, Esquire
437 Grant Street, Frick Building Suite 1500
Pittsburgh, PA 15219
Site: Whalen

MEMORANDUM OF LEASE

This Memorandum of Lease, dated _____, 2020, evidences that the City of Verona, a Wisconsin municipal corporation, with an address of 111 Lincoln Street, Verona, Wisconsin 53593, ("Landlord") and Cellco Partnership d/b/a Verizon Wireless with an address of One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 ("Tenant") entered into a Lease Agreement of even date herewith (the "Lease") the terms and conditions of which are incorporated herein by reference. The Lease provides in part that Landlord leases to Tenant a portion of ground space ("Premises") and space on Landlord's water tower located on County Highway M in the City of Verona, Dane County, State of Wisconsin and legally described on the attached Exhibit A.

IN WITNESS WHEREOF, the parties have executed this Memorandum as of the day and year first above written.

LANDLORD:

City of Verona,
a Wisconsin municipal corporation

By: _____
Luke Diaz, Mayor

Date: _____

By: _____
Ellen Clark, City Clerk

Date: _____

TENANT:

Cellco Partnership d/b/a Verizon Wireless

By: _____
Jacque Vallier, Executive Director
Network Field Engineering

Date: _____

LANDLORD ACKNOWLEDGMENT

STATE OF WISCONSIN)
) ss:
COUNTY OF DANE)

The foregoing instrument was acknowledged before me this ____ day of _____, 201__, by Luke Diaz, the Mayor, of the City of Verona, a Wisconsin municipal corporation, on behalf of the corporation.

NOTARY PUBLIC

(Seal)

My commission Expires_____

STATE OF WISCONSIN)
) ss:
COUNTY OF DANE)

The foregoing instrument was acknowledged before me this ____ day of _____, 2020, by Ellen Clark, the City Clerk, of the City of Verona, a Wisconsin municipal corporation, on behalf of the corporation.

NOTARY PUBLIC

(Seal)

My commission Expires_____

Exhibit A

LESSEE LEASE AREA

A part of the Southeast Quarter (SE1/4) of the Southeast Quarter (SE1/4) of Section Twenty-Two (22), Township Six (6) North, Range Eight (8) East, City of Verona, Dane County, Wisconsin containing 704 square feet (0.016 acres) of land and being described by:

Commencing at the Southeast Corner of said Section 22; thence N00°-24'-31"W 660.26 feet along the east line of the SE1/4 of said Section 22 to a point on the south line of Outlot 3 of Hawthorne Hills Subdivision as recorded as Document No. 3962939; thence N89°-00'-56"W 298.60 feet along said south line of Outlot 3 to the southwest corner thereof; thence N00°-28'-54"W 309.12 feet along the west line of said Outlot 3 to the northwest corner thereof; thence S89°-31'-08"W 88.34 feet along the south line of Lot 23 and Lot 24 of said Hawthorne Hills Subdivision; thence S00°-28'-54"E 31.24 feet to the point of beginning; thence N80°-45'-47"E 32.00 feet; thence S09°-14'-13"E 22.00 feet; thence S80°-45'-47"W 32.00 feet; thence N09°-14'-13"W 22.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

20' WIDE ACCESS & UTILITY EASEMENT

A part of Parcel 1 of Certified Survey Map No. 7393 as recorded in Volume 38 on Page 63 as Document No. 2583819, being located in the Town of Verona, and also a part of the Southeast Quarter (SE1/4) of the Southeast Quarter (SE1/4) of Section Twenty-Two (22), Township Six (6) North, Range Eight (8) East, City of Verona, Dane County, Wisconsin containing 8,054 square feet (0.185 acres) of land and being Ten (10) feet each side of and parallel with the following described line:

Commencing at the Southeast Corner of said Section 22; thence N00°-24'-31"W 660.26 feet along the east line of the SE1/4 of said Section 22 to a point on the south line of Outlot 3 of Hawthorne Hills Subdivision as recorded as Document No. 3962939; thence N89°-00'-56"W 298.60 feet along said south line of Outlot 3 to the southwest corner thereof; thence N00°-28'-54"W 309.12 feet along the west line of said Outlot 3 to the northwest corner thereof; thence S89°-31'-08"W 88.34 feet along the south line of Lot 23 and Lot 24 of said Hawthorne Hills Subdivision; thence S00°-28'-54"E 31.24 feet; thence N80°-45'-47"E 32.00 feet; thence S09°-14'-13"E 22.00 feet to the point of beginning; thence S22°-27'-29"E 47.89 feet to a point herein after referred to as Point "A"; thence S86°-24'-24"W 41.69 feet to the point of termination. Also beginning at said Point "A"; thence N86°-24'-24"E 21.14 feet; thence S10°-07'-00"E 25.92 feet; thence S00°-28'-54"E 78.66 feet along a line that is 10 feet west of and parallel to the West line of Outlot 3 of said Hawthorne Hills Subdivision Plat; thence S16°-25'-29"W 99.22 feet; thence S51°-26'-48"W 98.81 feet to a point on the easterly line of County Highway "M" and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said easterly line of County Highway "M".

LEASE AGREEMENT

THIS LEASE AGREEMENT ("Lease") is entered into as of this ___ day of _____, 20___, by the City of Verona ("Landlord"), a Wisconsin municipal corporation, and Cellco Partnership d/b/a Verizon Wireless, with its principal offices at One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 ("Tenant").

BACKGROUND

Landlord is the owner in fee simple of a parcel of land located on County Highway M in the City of Verona, Dane County, State of Wisconsin, legally described on the attached Exhibit A (the "Premises"). A water tower (the "Tower") is located on the Premises. Landlord desires to lease to Tenant, and Tenant desires to lease from Landlord, a portion of the Premises described below to enable Tenant to erect, operate and maintain certain communications facilities of Tenant, on the terms and conditions set forth below.

AGREEMENT

1. Leased Premises.

- A. Landlord leases to Tenant and Tenant leases from Landlord a portion of the Premises, including space on the Tower and space on the ground for a shelter, as shown on the Site Plan attached as Exhibit B. The Premises are subject to all existing easements, covenants, conditions, and restrictions of record, if any. Tenant intends to locate directional antennas, connecting cables, coaxial cables, and appurtenances ("Antenna Facilities") on the Tower at the locations shown on the attached Exhibit C.
- B. Landlord reserves the right to require Tenant to permanently relocate its facilities once during any ten (10) year period at Tenant's expense to another location on the Tower provided such relocation is a result of a governmental requirement, to accommodate a governmental party or in relation to maintenance or improvements of the Tower. Tenant shall complete the relocation of its facilities within three hundred sixty five (365) days after written notice from Landlord. If Landlord requires Tenant to permanently relocate more than one (1) time during any ten (10) year period, such relocation shall be at Landlord's expense. Landlord shall not cause Tenant to relocate its facilities to accommodate any non-governmental third party.
- C. Landlord reserves the right at any time upon one hundred eighty (180) days advanced written notice to Tenant to take any action it deems necessary, in its sole discretion, to repair, maintain, alter or improve the Premises or Tower and to temporarily interfere with Tenant's leasehold improvements as may be necessary in order to carry out any such activities. During the period of such temporary interference, Tenant shall have the option to place a temporary antenna array on the

Premises and Tower. Such temporary antenna array shall be at least 20' from the drip area of the Tower. This notice requirement shall not affect any situation where Landlord must request Tenant's relocation in the event of an emergency as necessary to protect the health, safety, and welfare of visitors or Landlord's other tenants. In the event of a relocation request under this Section, Tenant agrees to cover the costs of relocating its equipment. If such approval is to include going through any permitting process of Landlord, Landlord shall waive any permit fees for Tenant for its reinstallation. Landlord shall provide space satisfactory to Tenant in the location shown in the Site Drawing attached hereto as Exhibit B in order for Tenant to operate temporary cellular facilities during the course of any maintenance that cannot be completed without Tenant's relocation. Landlord shall take all steps possible to ensure that Tenant is off the Tower for the minimum length of time possible.

- D. Pursuant to Section 5 of Document No. 3141381 recorded in the Dane County Register of Deed's Office, the Landlord grants a license for ingress/egress and utilities, as more particularly described on the attached Exhibit A, which license is in effect throughout the term of the Lease as renewed or extended. Landlord also makes certain grants of easement for ingress/egress and utilities, as more particularly described on the attached Exhibit A, which easement is in effect throughout the term of the Lease as renewed or extended. Any and all rights granted to Tenant under the grant of a license for ingress/egress and utilities and the grants of easement for ingress/egress and utilities, as more particularly described on the attached Exhibit A, shall terminate when the Lease terminates. For avoidance of doubt, Tenant's access to the Premises, including the license and easement areas described in Exhibit A and the Tower, is also subject to Section 9 of this Lease.
- E. This Lease is not a franchise nor is it a permit to use the rights-of-way. Any such franchise or permit must be obtained separately from Landlord.

2. **Term.**

- A. The initial term of this Lease shall be five (5) years terminating at midnight on the fifth (5) annual anniversary of the Commencement Date (the "Initial Term").
- B. This Lease will automatically renew for four (4) additional and successive five (5) year terms unless Tenant gives Landlord written notice of non-renewal at least six (6) months before the end of each existing term (each a "Renewal Term").
- C. The Lease shall commence on the earlier of: (i) the date that is twelve (12) months from full execution of this Lease or (ii) the date that the Tenant commences its installation work on its Antenna Facilities on the Premises. In the event the date at which Tenant commences its installation work on the Premises or the date that is twelve (12) months from full execution of the Lease, whichever is applicable, falls between the 1st and 15th of the month, the Lease shall commence on the 1st of that

month and if such date falls between the 16th and 31st of the month, then the Lease shall commence on the 1st day of the following month (either the "Commencement Date"). Landlord and Tenant acknowledge and agree that initial rental payment(s) shall not actually be sent by Tenant until thirty (30) days after the Commencement Date. By way of illustration of the preceding sentence, if the Commencement Date is January 1, Tenant shall send to the Landlord the rental payments for January 1 and February 1 by February 1.

- D. If Tenant fails to commence its installation work on its Antenna Facilities on the Premises within twelve (12) months of the execution of this Lease, Landlord may terminate this Lease.
- E. Upon execution of this Lease, Tenant shall pay Landlord Sixteen Thousand One Hundred Dollars (\$16,100.00).

3. Rent.

- A. During the Initial Term and any Renewal Terms, Tenant shall pay Landlord as rent for the Premises the sum of Two Thousand Three Hundred dollars (\$2,300.00) per month (plus the percentage increase specified in the next sentence for subsequent years) (the "Base Rent"). The Base Rent shall be adjusted, effective on the first anniversary of the Commencement Date, and annually thereafter, to an amount equal to Three percent (3%) of the Base Rent in effect immediately prior to the adjustment date.
- B. The first payment of the Base Rent shall be due within thirty (30) days following the Commencement Date and shall be prorated based on the days remaining in the month containing the Commencement Date. Thereafter, Base Rent shall be paid monthly in advance by the fifth day of each month to Landlord at: City of Verona, City Clerk, 111 Lincoln Street, Verona, WI 53593. Landlord will submit to Tenant a complete and accurate IRS form W9 prior to Tenant's first payment of Rent. Landlord will specify the name, address, and taxpayer identification number of a sole payee (or maximum two joint payees) who will receive Rent on behalf of the Landlord. Rent will be prorated for any partial month. Any change to the payee must be requested in accordance with the Notice provision herein, and a new IRS form W9 must be supplied prior to payment by Tenant to the new payee.
- C. Tenant shall pay Landlord a late payment charge equal to five percent (5%) of the late payment for any payment not paid when due. Any amounts not paid when due shall bear interest until paid at the lesser of the rate of two percent (2%) per month or the highest rate permitted by law.
- D. For each additional antenna and/or coaxial cable installed by Tenant beyond the initial array of antennas and coaxial cables described in Exhibit C, Tenant shall pay

an additional rent to be mutually agreed on, which shall become part of the Base Rent.

- E. Tenant shall reimburse the Landlord up to Seven Thousand Five Hundred Dollars (\$7,500.00), for all reasonable costs and fees incurred by the Landlord for attorneys, engineers, and consultants to review this Lease and any other plans or documents associated with Tenant's proposed use or use of the Premises and Tower. The Landlord shall provide an itemized invoice(s) to the Tenant for such costs and fees as they are incurred. Tenant shall remit payment of such fees to the Landlord within sixty (60) days of receipt of an itemized invoice(s).
- F. Tenant may not add additional equipment, antennas and/or coaxial cables from that shown on Exhibit C without the approval of Landlord. Tenant may affect equipment changes detailed in Section 7 of this Lease.
- G. The Base Rent, any additional rent, and all other consideration to be paid or provided by Tenant to Landlord shall constitute Rent and shall be paid or provided without offset.

4. Use of Premises.

- A. Tenant may use the Premises for the installation, operation, and maintenance of its Antenna Facilities for the transmission, reception and operation of a communications system and uses incidental thereto, and for the storage of related equipment in accordance with the terms of this Lease. This use shall be non-exclusive.
- B. Tenant may erect and operate six (6) antennas and three (3) hybrid cables. Tenant may add additional antennas or coaxial/ cabling lines only with Landlord's consent and only after Landlord has obtained, at Tenant's expense, a certified evaluation from a qualified engineer indicating that each additional antenna or coaxial cable will not interfere with existing antennas or proposed antennas, and the Tower can structurally support the additional antenna and coaxial cables.
- C. Tenant shall, at its expense, comply with all present and future federal, state, and local laws, ordinances, rules and regulations (including laws and ordinances relating to health, radio frequency emissions, other radiation and safety) in connection with the use, operation, and maintenance of the Premises, including, but not limited to, the construction and installation of the Antenna Facilities and the use, operation, and maintenance of the Antenna Facilities. Landlord agrees to reasonably cooperate with Tenant in obtaining, at Tenant's expense, any federal licenses and permits required for, or substantially required by, Tenant's use of the Premises.

- D. Tenant shall remove the Antenna Facilities (including improvements, concrete poles, foundation and below-grade improvements), except the shelter, from the Premises within sixty (60) days after termination or expiration of the Lease. Such removal shall be done in a workmanlike and careful manner and without interference or damage to any other equipment, structures or operations on the Premises, including use of the Premises by Landlord or any of Landlord's assignees or lessees. Tenant shall obtain a performance bond within thirty (30) days after the Commencement Date in the amount of Ten Thousand Dollars (\$10,000.00) naming Landlord as Obligee to ensure that Tenant's equipment will be removed and the Premises restored to its original condition (normal wear and tear excepted) upon termination or expiration of this Lease. Upon removal of the Antenna Facilities, except the shelter, (or portions thereof), Tenant shall restore the affected area of the Premises, less wear and tear to the reasonable satisfaction of Landlord. All costs and expenses for the removal and restoration to be performed by Tenant shall be borne by Tenant, and Tenant shall hold Landlord harmless from any portion thereof. If Tenant requests permission not to remove all or a portion of the Antenna Facilities, and Landlord consents to such non-removal, title to the affected Antenna Facilities shall thereupon transfer to Landlord and the same thereafter shall be the sole and entire property of Landlord, and Tenant shall be relieved of its duty to otherwise remove same.
5. **Construction Standards.** Tenant's Antenna Facilities shall, at all times, be painted, at Tenant's expense, the same color as the Tower or other color as the Landlord may specify.
6. **Installation of Equipment and Leasehold Improvements.**
- A. Tenant shall have the right, at its sole cost and expense, to install, operate and maintain on the Premises, in accordance with good engineering practices and with all applicable rules and regulations of the Federal Communications Commission ("FCC"), its Antenna Facilities as described on Exhibit C.
- B. Tenant's installation of all such Antenna Facilities shall be done according to plans approved by Landlord, with such approval not unreasonably withheld, conditioned or delayed. The cost of Landlord's review and approval shall be at Tenant's expense, pursuant to 3.E. Any damage done to the Premises and/or the Tower during installation and/or during operations shall be repaired or replaced within ten (10) days at Tenant's expense and to Landlord's sole satisfaction.
7. **Equipment Upgrade.** Tenant may update or replace the Antenna Facilities from time to time with no rent increase, provided that the replacement facilities are not greater in number or size than the existing facilities and that any change in their location on the Tower is satisfactory to Landlord. Tenant shall submit to Landlord a detailed proposal for any such replacement facilities and any supplemental materials as may be requested, for Landlord's evaluation and approval. Landlord will respond to Tenant's proposal within thirty (30) business days after submission. In the event Tenant's proposed updates or replacements

require an engineering review from an outside consultant, the cost of such review shall be at Tenant's expense.

8. Maintenance.

- A. Tenant shall, at its own expense, maintain the Antenna Facilities on or attached to the Premises in a safe condition and in good repair so as not to conflict with the use of or other leasing of the Tower by Landlord. Tenant shall not interfere with the use of the Tower, the Premises, related facilities or other equipment of other tenants.
- B. Tenant shall have sole responsibility for the maintenance, repair, and security of its equipment, personal property, Antenna Facilities, and leasehold improvements, and shall keep the same in good repair and condition during the Lease term.
- C. Tenant shall keep the Premises free of debris and anything of a dangerous, noxious or offensive nature or which would create a hazard or undue vibration, heat, noise or interference.
- D. In the event the Landlord undertakes painting, construction or other alterations on the Tower that does not require the Tenant to relocate its Antenna Facilities, Tenant shall take reasonable measures at Tenant's cost to cover Tenant's equipment, personal property, Antenna Facilities, and protect them from paint and debris fallout which may occur during the painting, construction or alteration process.
- E. Landlord represents that it has the right and responsibility to repair and maintain the Tower and surrounding property, including but not limited to, snow removal, subject to the provisions of Section 18 of this agreement.

9. Premises Access.

- A. Tenant shall have reasonable access to the Premises in order to install, operate, and maintain its Antenna Facilities. Tenant shall have access to the Tower only with the prior approval of Landlord. Tenant shall request access to the Tower twenty-four (24) hours in advance, except in an emergency, when the Landlord shall use reasonable efforts to accommodate Tenant's request for access to the Premises. In the event Tenant must access the Tower outside normal business hours (8 a.m. to 5 p.m.), Tenant shall contact Landlord at 608-845-6695 to notify Landlord of such request and pay Landlord for the cost of a Landlord employee accompanying Tenant at the normal hourly overtime rate for such employee plus 15% representing benefits with a minimum billing occurrence of two (2) hours.
- B. Landlord shall be allowed and granted access to the Premises (including the Tower) at all times, to examine and inspect the Premises (including the Tower) for safety reasons or to ensure that the Tenant's covenants are being met. Landlord will only

be allowed access to Tenant's equipment shelter if accompanied by a representative of the Tenant.

10. **Utilities.** Tenant shall, at its expense, separately meter charges for the consumption of electricity and other utilities associated with its use of the Premises and shall timely pay all costs associated therewith. All utilities shall be buried.
11. **License Fees.** Tenant shall pay, as they become due and payable, all fees, charges, taxes and expenses required for licenses and/or permits required for or occasioned by Tenant's use of the Premises.
12. **Compliance with Statutes, Regulations, and Approvals.** Tenant's use of the Premises is contingent upon its obtaining all certificates, permits, zoning, and other approvals that may be required by any federal, state or local authority. Tenant shall erect, maintain and operate its Antenna Facilities in accordance with site standards, Wisconsin statutes, ordinances, rules and regulations now in effect or that thereafter may be issued by the FCC or any other governing bodies.
13. **Interference.**
 - A. Tenant's installation, operation, and maintenance of its Antenna Facilities shall not damage or cause any objectionable electrical or physical interference in any way with Landlord's Tower operations or related repair and maintenance activities or with such activities of a Co-Tenant. For purposes of this Section 13, a "Co-Tenant" is a tenant that executes a lease agreement with Landlord to operate communication facilities upon the Premises and the Tower. In the event that it is determined using standard and accepted engineering testing or principles that Tenant is causing any objectionable electrical or physical interference to the operations of Landlord or a Co-Tenant, then, immediately upon written notification from Landlord or the Co-Tenant of the interference, Tenant shall, at its sole expense, take whatever steps are necessary to correct the interference, including, but not limited to, changing frequency, ceasing transmission, reducing power and/or installing filters or other equipment. If the interference cannot be eliminated within twenty-four (24) hours, Tenant will power down its equipment until the interference has been eliminated. If the interference cannot be eliminated within thirty (30) days, Landlord may terminate this Lease. The party experiencing the interference shall be responsible for determining its source, and in the event it is determined that Tenant is causing the interference, Tenant shall reimburse the affected party for the costs of such determination within thirty (30) days of receipt of an invoice. Failure by Tenant to comply with these requirements shall be the basis for termination of the Lease by Landlord. In the event Landlord or a Co-Tenant interferes with Tenant and such interference is not eliminated within thirty (30) days, Tenant may terminate this Lease. Landlord, at all times during this Lease, reserves the right to take any action it deems necessary, in its sole discretion, to repair, maintain, alter or improve the Premises, with the exception of the Tenant's Antenna Facilities, in connection with

Tower operations as may be necessary, including leasing parts of the Tower to others.

- B. Before approving the placement of Antenna Facilities, Landlord may obtain, at Tenant's expense, an engineering study indicating whether the Tower is able to structurally support the Tenant's Antenna Facilities without prejudice to the Landlord's primary use of the Tower.
- C. Landlord does not guarantee to Tenant noninterference with Tenant's communications operations, provided, however, that in the event any other party, except a governmental unit, requests a lease and/or permission to place any type of antenna or transmission facility on the Premises subsequent to the execution of this Lease, the procedures of this Section 13, or a procedure in substantially the same form, shall govern to determine whether such antenna or transmission facility will interfere with Tenant's transmission operations. Notwithstanding the foregoing, any governmental unit installing communications equipment after the Commencement Date of this Lease shall use reasonable efforts to ensure that it does not interfere with Tenant's communications operations as permitted by this Lease.
- D. If Landlord receives a proposal by a party, except a governmental unit, to lease and/or place any type of antenna or transmission facility on the Premises, Landlord shall submit the proposal complete with all technical specifications reasonably requested by Tenant to Tenant for review for noninterference; however, Landlord shall not be required to provide Tenant with any specifications or information claimed to be of a proprietary nature by the third party. The third party shall be responsible for the reasonable cost of preparing the technical specifications for its proposed transmission facility. Tenant shall have thirty (30) days following receipt of the proposal to make any objections thereto, and failure to make any objection within the thirty (30) day period shall be deemed consent by Tenant to the installation of antennas or transmission facilities pursuant to the proposal.
- E. Landlord will include a provision in substantially the same form as this Section 13 in each subsequent lease or agreement with a subsequent tenant for attachment of equipment to the Tower.

14. Default and Landlord's Remedies.

It shall be a default if Tenant defaults in the payment or provision of Rent or any other sums to Landlord when due, and does not cure such default within ten days after receipt of written notice from Landlord; or if Tenant defaults in the performance of any other covenant or condition of this Lease and does not pursue a cure with due diligence and cure such other default within ninety (90) days after written notice from Landlord specifying the default complained of; or if Tenant abandons or vacates the Premises; or if Tenant is adjudicated as bankrupt or makes any assignment for the benefit of creditors; or if Tenant becomes insolvent or Landlord reasonably believes Tenant to be insolvent.

In the event of a default, Landlord shall have the right, at its option, in addition to and not exclusive of any other remedy Landlord may have by operation of law, without any further demand or notice, to enter the Premises and eject all persons therefrom, and either (1) declare this Lease at an end, in which event Tenant shall immediately remove the Antenna Facilities (and proceed as set forth in Section 4.D.) and pay Landlord a sum of money equal to the total of (i) the amount of the unpaid rent accrued through the date of termination; and (ii) any other amount necessary to compensate Landlord for all detriment proximately caused by Tenant's failure to perform its obligations under the Lease, but such amount in (ii) shall not exceed two months' rent. No entry and taking of possession of the Premises by Landlord shall be construed as an election on Landlord's part to terminate this Lease regardless of the extent of renovations and alterations by Landlord unless a written notice of such intention is given to Tenant by Landlord. Notwithstanding any reletting without termination, Landlord may at any time thereafter elect to terminate this Lease for such previous breach.

If suit shall be brought by Landlord for recovery of possession of the Premises, for the recovery of any rent or any other amount due under the provisions of this Lease, or because of the breach of any other covenant, Tenant shall pay to the Landlord all expenses incurred therefor, including reasonable attorney fees as awarded by a court.

If Landlord fails to comply with any provision of this Lease, Tenant shall serve written notice of such failure upon Landlord, whereupon a grace period of ninety (90) days shall commence to run during which Landlord shall undertake and diligently pursue a cure of such failure at its sole cost and expense. Such grace period shall automatically be extended for an additional ninety (90) days, provided Landlord makes a good faith showing that efforts toward a cure are continuing. If Landlord is not able to cure any default within the timeframe listed above, Tenant may terminate this Lease in addition to any other right or remedy at law or in equity.

15. **Cure by Landlord.** In the event of any default of this Lease by Tenant, Landlord may at any time, after notice, cure the default for the account of and at the expense of Tenant.

16. **Optional Termination.**

A. This Lease may be terminated:

- (1) by Tenant if it is unable to obtain or maintain any license, permit, or other governmental approval necessary for the construction and/or operation of the Antenna Facilities or Tenant's business (except that Tenant shall still be obligated to pay to Landlord all expenses incurred by Landlord in the preparation and review of this Lease and of all engineering and project plans);

- (2) by Landlord, on eighteen (18) months written notice, if the Landlord decides, in its sole discretion, to redevelop the Premises and/or discontinue use of the Tower;
 - (3) by Landlord, immediately, if it determines, in its sole discretion and for any reason, that the Tower is structurally unsound or otherwise not suitable for Tenant's use, including but not limited to consideration of age of the structure, damage or destruction of all or part of the Tower from any source, or factors relating to condition of the Tower;
 - (4) by Landlord, immediately, if continued use of the Tower by Tenant is in fact a threat to health, safety or welfare or violates applicable laws or ordinances;
 - (5) by Landlord, immediately, at its sole discretion if Tenant loses its license to provide PCS/cellular service for any reason, including, but not limited to, nonrenewal, expiration, or cancellation of its license;
 - (6) by Landlord, immediately, if Tenant's use of the Premises becomes illegal under any federal, state or local law or regulation;
- or
- (7) By Tenant, on six months written notice to Landlord, if Tenant determines that the Premises, the Tower or the Antenna Facilities are inappropriate or unnecessary for Tenant's operations for economic or technological reasons.

B. Upon termination of this Lease for any reason, Tenant shall remove its equipment, personal property, Antenna Facilities, and leasehold improvements from the Premises as specified in Section 4.D. of this Lease.

17. **Liquidated Damages: Termination.** Notice of termination under Section 16.A. shall be given pursuant to Section 26, and shall be effective upon receipt of such notice by the non-terminating party. All rent paid for the Lease of the Premises prior to the termination date shall be retained by Landlord. Upon such termination, this Lease shall become null and void and the parties shall have no further obligations to each other.
18. **Alteration, Damage or Destruction.** If the Tower or any portion thereof is altered, destroyed or damaged so as to materially hinder effective use of the Antenna Facilities through no fault or negligence of Tenant, Tenant may elect to terminate this Lease upon thirty (30) days' written notice to Landlord. During the period of time the Tenant's effective use of the Antenna Facilities are materially hindered, the Tenant will be allowed to operate a temporary cellular site upon the Premises for up to the remainder of the current lease term. In such event of Tenant terminating the Lease pursuant to this Section, Tenant shall promptly remove the Antenna Facilities from the Premises and shall restore the Premises to the reasonable satisfaction of Landlord. This Lease (and Tenant's obligation

to pay rent) shall terminate upon Tenant's fulfillment of the obligations set forth in the preceding sentence including the removal of any temporary cellular site upon the Premises, at which termination Tenant shall be entitled to the reimbursement of any rent prepaid by Tenant. Landlord shall have no obligation to repair any damage to any portion of the Premises or the Tower.

19. **Condemnation.** If the Premises or the Tower are taken by eminent domain, this Lease shall terminate as of the date title to the Premises vests in the condemning authority. If a portion of the Premises is taken by eminent domain, either party shall have the right to terminate this Lease as of the date of title transfer, by giving thirty (30) days' written notice to the other party. In the event of any taking under the power of eminent domain, Tenant shall not be entitled to any portion of the award paid for the taking and the Landlord shall receive full amount of such award. Tenant waives any right or claim to any portion thereof. All damages, whether awarded as compensation for diminution in value of the leasehold or to the fee of the Premises, shall belong to Landlord. Tenant shall have the right to claim and recover from the condemning authority, but not from Landlord, such compensation as may be separately awarded or recoverable by Tenant on account of any and all damage to Tenant's business and any costs or expenses incurred by Tenant in moving or removing its equipment, personal property, Antenna Facilities, and leasehold improvements.

20. **Indemnity and Insurance.**

A. Indemnification. Landlord shall indemnify Tenant and hold Tenant and all associated, affiliated, allied and subsidiary entities of Tenant, now existing or hereafter created, and their respective officers, boards, employees, agents, and attorneys, ("Tenant Indemnitees") harmless from any and all costs (including reasonable attorney fees) and claims of liability or loss which arise out of the use, maintenance, and/or occupancy of the Premises by Landlord, except to the extent caused by the negligence or intentional misconduct of Tenant or any Tenant Indemnitees or a third party. Tenant shall, at its sole cost and expense, indemnify and hold harmless Landlord and all associated, affiliated, allied and subsidiary entities of Landlord, now existing or hereafter created, and their respective officers, boards, commissions, employees, agents, and attorneys (collectively referred to as "Landlord Indemnitees"), except to the extent caused by the negligence or intentional misconduct of Landlord or any Landlord Indemnitees or a third party from and against:

- (1) Any and all liability, obligation, damages, penalties, claims, liens, costs, charges, losses and expenses (including, without limitation, reasonable fees and expenses of attorneys, expert witnesses and consultants), which may be imposed upon, incurred by or be asserted against the Landlord Indemnitees by reason of any act or omission of Tenant (or its personnel, employees, agents, contractors or subcontractors), except to the extent caused by the negligence or intentional misconduct of the Landlord Indemnitees, resulting or allegedly resulting in personal injury, bodily injury, or death to any

person or damage to, loss of, or destruction of tangible or intangible property, which may arise out of the occupancy, construction, installation, operation, maintenance, use or condition of the Premises or the Antenna Facilities, or Tenant's failure to comply with this Lease or any federal, state or local statute, ordinance or regulation.

- (2) Any and all liability, obligations, damages, penalties, claims, liens, costs, charges, losses and expenses (including, without limitation, reasonable fees and expenses of attorneys, expert witnesses and other consultants), which are imposed upon, incurred by or asserted against the Landlord Indemnitees by reason of any claim or lien arising out of work, labor, materials or supplies provided or supplied to Tenant, its contractors or subcontractors, for the installation, construction, operation, maintenance or use of the Premises or the Antenna Facilities.
- (3) Any and all liability, obligation, damages, penalties, claims, liens, costs, charges, losses and expenses (including, without limitation, reasonable fees and expenses of attorneys, expert witnesses and consultants), which may be imposed upon, incurred by or be asserted against the Landlord Indemnitees by reason of any financing or securities offering by Tenant or its affiliates for violations of the common law or any laws, statutes, or regulations of the State of Wisconsin or the United States, including those of the FCC, whether by Tenant or otherwise.

Upon the written request of Landlord, Tenant shall cause such claim or lien covering Landlord's property to be discharged or bonded within thirty days following such request.

- B. Defense of Landlord or Tenant Indemnitees ("Indemnitees"). In the event any action or proceeding shall be brought against either the Landlord or Tenant Indemnitees by reason of any matter for which the Indemnitees are indemnified, the indemnifying party shall, upon notice from any of the Indemnitees, at the indemnifying party's sole cost and expense, resist and defend the action or proceeding with legal counsel selected by the indemnifying party; provided however, that the indemnifying party shall not admit liability in any such matter on behalf of the Indemnitees without the written consent of the Indemnitees and provided further that Indemnitees shall not admit liability for, nor enter into any compromise or settlement of, any claim for which they are indemnified, without the prior written consent of the indemnifying party.
- C. Insurance. During the term of the Lease, Tenant shall maintain, or cause to be maintained, in full force and effect and at its sole cost and expense, the following types and limits of insurance:

- (1) Worker's compensation insurance meeting applicable statutory requirements and employer's liability insurance with limits of \$100,000 for each accident/disease/policy limit.
 - (2) Commercial general liability insurance with limits of \$1,000,000 per occurrence of bodily injury and property damage and \$2,000,000 general aggregate including blanket contractual liability insurance for all written contracts, products and completed operations liability, independent contractor's liability; personal and advertising injury; coverage for property damage from perils of explosion, collapse or damage to underground utilities, commonly known as XCU coverage.
 - (3) Commercial automobile liability insurance covering all owned, hired, and non-owned vehicles in an amount of \$300,000 combined single limit each accident for bodily injury and property damage.
 - (4) At the start of and during the period of any construction, builders all-risk or equivalent property insurance, together with an installation floater or equivalent property coverage covering cables, materials, machinery and supplies of any nature whatsoever which are to be used in or incidental to the installation of the Antenna Facilities. Upon completion of the installation of the Antenna Facilities, Tenant shall substitute for the foregoing insurance policies of fire, extended coverage and vandalism and malicious mischief insurance on the Antenna Facilities. The amount of insurance at all times shall be representative of the insurable values installed or constructed.
 - (5) Business interruption insurance coverage in an amount sufficient to cover such loss of revenues, for a period of twelve (12) months to repair or replace the part of the Antenna Facilities which is damaged and caused the loss of revenue.
 - (6) All policies other than those for Worker's Compensation shall be written on an occurrence and not on a claims made basis.
- D. Additional Insureds. All policies, except for business interruption and worker's compensation policies, shall include Landlord and all associated, affiliated, allied and subsidiary entities of Landlord and their respective officers, boards, commissions and employees as additional insureds, as their respective interests may appear as additional insureds under this Agreement (herein referred to as the "Additional Insureds").
- E. Evidence of Insurance. Certificates of insurance for each insurance policy required to be obtained by Tenant in compliance with this section shall be filed and maintained with Landlord annually and if an insurance carrier changes during the

term of the Lease. Tenant shall, as soon as practicable, advise Landlord of any claim, action or proceeding that may result in liability to Landlord.

- F. Insurance Companies. All insurance shall be affected under valid and enforceable policies, issued by insurers licensed, authorized or permitted to do business by the State of Wisconsin or surplus line carriers on the State of Wisconsin Insurance Commissioner's approved list of companies qualified to do business in the State of Wisconsin. All insurance carriers and surplus line carriers shall be rated A- or better by A.M. Best Company.
 - G. Contractors. Tenant shall require that each of its contractors and their subcontractors who perform work on the Premises carry, in full force and effect, substantially the same coverage with substantially the same limits as required of Tenant.
 - H. Landlord shall maintain general liability insurance insuring against liability for bodily injury, death or damage to personal property with combined single limits of One Million and No/100 Dollars (\$1,000,000) as well as all risk property insurance covering all Landlord fixtures, improvements, and personal property at full replacement value with commercially reasonable deductibles. In addition, to the extent required by law, Landlord shall maintain worker's compensation in statutory amounts and employer's liability insurance with combined single limits of One Million and No/100 Dollars (\$1,000,000). Certificates of insurance for each insurance policy required to be obtained by Landlord in compliance with this section, shall be filed and maintained with Tenant annually and if insurance carrier changes during the term of the Lease. Landlord shall immediately advise Tenant of any claim, action or proceeding that may result in liability to Tenant.
21. **Hazardous Materials Indemnification.** "Hazardous Materials" shall be interpreted broadly to mean any substance or material defined or designated as hazardous or toxic waste, hazardous or toxic material, hazardous or toxic or radioactive substance, or other similar term by any federal, state or local environmental law, regulation or rule presently in effect or promulgated in the future, as such laws, regulations or rules may be amended from time to time; and it shall be interpreted to include, but not be limited to, any substance which after release into the environment will or may reasonably be anticipated to cause sickness, death or disease.

Landlord hereby represents and warrants to Tenant that Landlord has never generated, stored, handled, or disposed of any Hazardous Materials upon the Premises, and that Landlord has no knowledge of such uses historically having been made of the Premises or such substances historically having been introduced thereupon. Tenant shall not cause or permit any Hazardous Materials to be brought upon, kept or used in or about the Site by Tenant, its agents, employees, contractors or invitees, without the prior written consent of Landlord, which Landlord shall not unreasonably withhold as long as Tenant demonstrates to Landlord's reasonable satisfaction that such Hazardous Materials are necessary or useful

to Tenant's permitted use of the Site and will be used, kept and stored in a manner that complies with all laws regulating any such Hazardous Materials so brought upon or used or kept in or about the Site. Notwithstanding the foregoing, Landlord acknowledges that Tenant may be using and maintaining on the Premises sealed batteries, backup generator fuel, electronics, cables, common cleaning supplies, and an FM200 fire suppression system, and that the use and maintenance of such items in accordance with applicable law shall not constitute a violation or breach of this section. If Tenant breaches any of its obligations contained herein, or if Tenant causes the presence of any Hazardous Materials on the Site first occurring after the date of this Lease, which results in contamination of any portion of the Site, then Tenant shall indemnify, defend and hold Landlord harmless from and against any and all claims, judgments, damages, penalties, fines, costs, liabilities or losses (including, without limitation, any sums paid in settlement of claims, attorneys' fees, consultants' fees and experts' fees) which arise during or after the term hereof as a result of such contamination. If Landlord breaches any of its obligations contained herein then Landlord shall indemnify, defend and hold Tenant harmless from and against any and all claims, judgments, damages, penalties, fines, costs, liabilities or losses (including, without limitation, any sums paid in settlement of claims, attorneys' fees, consultants' fees and experts' fees) which arise during or after the term hereof as a result of such contamination. Notwithstanding the foregoing, in no event shall Tenant have any obligation to indemnify Landlord hereunder for any claims, judgments, damages, penalties, fines, costs, liabilities or losses (including, without limitation, any sums paid in settlement of claims, attorneys' fees, consultants' fees and experts' fees) for any contamination by Hazardous Materials caused by or resulting from Landlord, its agents, employees, contractors or invitees or for Hazardous Materials present or located at or on or upon the Premises (or any part thereof) as of the date of this Lease.

22. **Holding Over.** Any holding over after the expiration of the term of this Lease, with the consent of the Landlord, shall be construed to be a tenancy from month to month at one hundred and fifty (150%) percent the rents herein specified (prorated on a monthly basis) and shall otherwise be for the term and on the conditions herein specified, so far as applicable.
23. **Subordination to Mortgage.** Any mortgage now or subsequently placed upon any property of which the Premises are a part shall be deemed to be prior in time and senior to the rights of the Tenant under this Lease. Tenant subordinates all of its interest in the leasehold estate created by this Lease to the lien of any such mortgage so long as mortgagee agrees to recognize all of the rights of Tenant hereunder and not to disturb or interfere with Tenant's possession, use or enjoyment of the Premises provided that Tenant is not in default hereunder beyond any applicable cure period. Tenant shall, at Landlord's request, execute any additional documents necessary to indicate this subordination.
24. **Acceptance of Premises.** By taking possession of the Premises, Tenant accepts the Premises in the condition existing as of the Commencement Date. Landlord makes no representation or warranty with respect to the condition of the Premises and Landlord shall not be liable for any latent or patent defect in the Premises.

28. **Successors and Assigns.** This Lease shall be binding upon and inure to the benefit of the parties, their respective successors, personal representatives and assigns.
29. **Non-Waiver.** Failure of Landlord or Tenant to insist on strict performance of any of the conditions, covenants, terms or provisions of this Lease or to exercise any of their rights hereunder shall not waive such rights, but either party shall have the right to enforce such rights at any time and take such action as might be lawful or authorized hereunder, either in law or equity. The receipt of any sum paid by Tenant to Landlord after a breach of this Lease shall not be deemed a waiver of such breach unless expressly set forth in writing.
30. **Taxes.**
- A. Tenant shall pay all real and personal property taxes (or payments in lieu of taxes) and assessments for the Premises directly attributable to Tenant's equipment or improvements, if any, which become due and payable during the term of this Lease. All such payments shall be made, and evidence of all such payments shall be provided to Landlord, at least ten days prior to the delinquency date of the payment. Tenant shall pay all taxes on its personal property on the Premises.
 - B. Tenant shall indemnify Landlord from any and all liability, obligation, damages, penalties, claims, liens, costs, charges, losses and expenses (including, without limitation, reasonable fees and expenses of attorneys, expert witnesses and consultants), which may be imposed upon, incurred by or be asserted against Tenant in relation to the taxes owed or assessed on the Premises.
 - C. If the methods of taxation in effect at the Commencement Date of the Lease are altered so that in lieu of or as a substitute for any portion of the property taxes and special assessments now imposed on property there is imposed a tax upon or against the rentals payable by Tenant to Landlord, Tenant shall pay those amounts in the same manner as provided for the payment of real and personal property taxes.
31. **Miscellaneous.**
- A. Landlord and Tenant represent that each, respectively, has full right, power, and authority to execute this Lease.
 - B. This Lease constitutes the entire agreement and understanding of the parties and supersedes all offers, negotiations, and other agreements of any kind. There are no representations or understandings of any kind not set forth herein. Any modification of or amendment to this Lease must be in writing and executed by both parties.
 - C. This Lease shall be construed in accordance with the laws of the United States and the State of Wisconsin.

- D. If any term of this Lease is found to be void or invalid, such invalidity shall not affect the remaining terms of this Lease, which shall continue in full force and effect.
- E. Tenant shall not be permitted to advertise on the Premises or the Tower.
- F. Any heating, ventilation, or air conditioning equipment belonging to or operated on the Premises by Tenant shall comply with the City of Verona Noise Ordinance.
- G. Landlord may record this Lease or a memorandum describing this Lease with the Dane County Register of Deeds Office.

This Lease was executed as of the date first set forth above.

LANDLORD:

CITY OF VERONA

_____ By _____
Date Luke Diaz, Mayor

_____ By _____
Date Ellen Clark, City Clerk

TENANT:

Cellco Partnership d/b/a Verizon Wireless

_____ By _____
Date Print Name: Jacque Vallier
Print Title: Executive Director Network Field Engineering

Attachments: Exhibit A – Legal Description of Premises and Access & Utility Easement
Exhibit B – Site Plan
Exhibit C – Diagram of Placement of Antenna Facilities on Tower;
Description of Antenna Facilities

EXHIBIT A

LEGAL DESCRIPTION OF PREMISES AND ACCESS & UTILITY EASEMENT

LESSEE LEASE AREA

A part of the Southeast Quarter (SE1/4) of the Southeast Quarter (SE1/4) of Section Twenty-Two (22), Township Six (6) North, Range Eight (8) East, City of Verona, Dane County, Wisconsin containing 704 square feet (0.016 acres) of land and being described by:

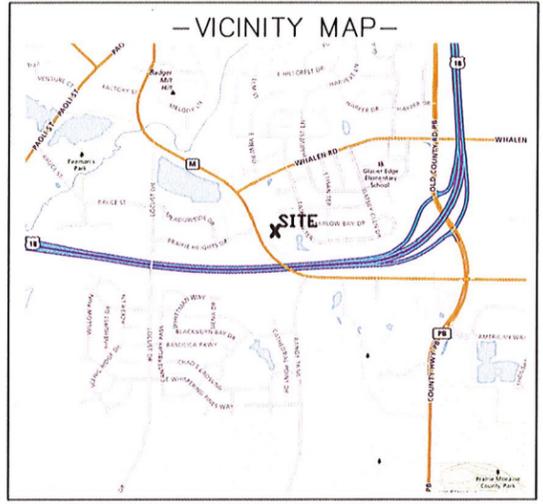
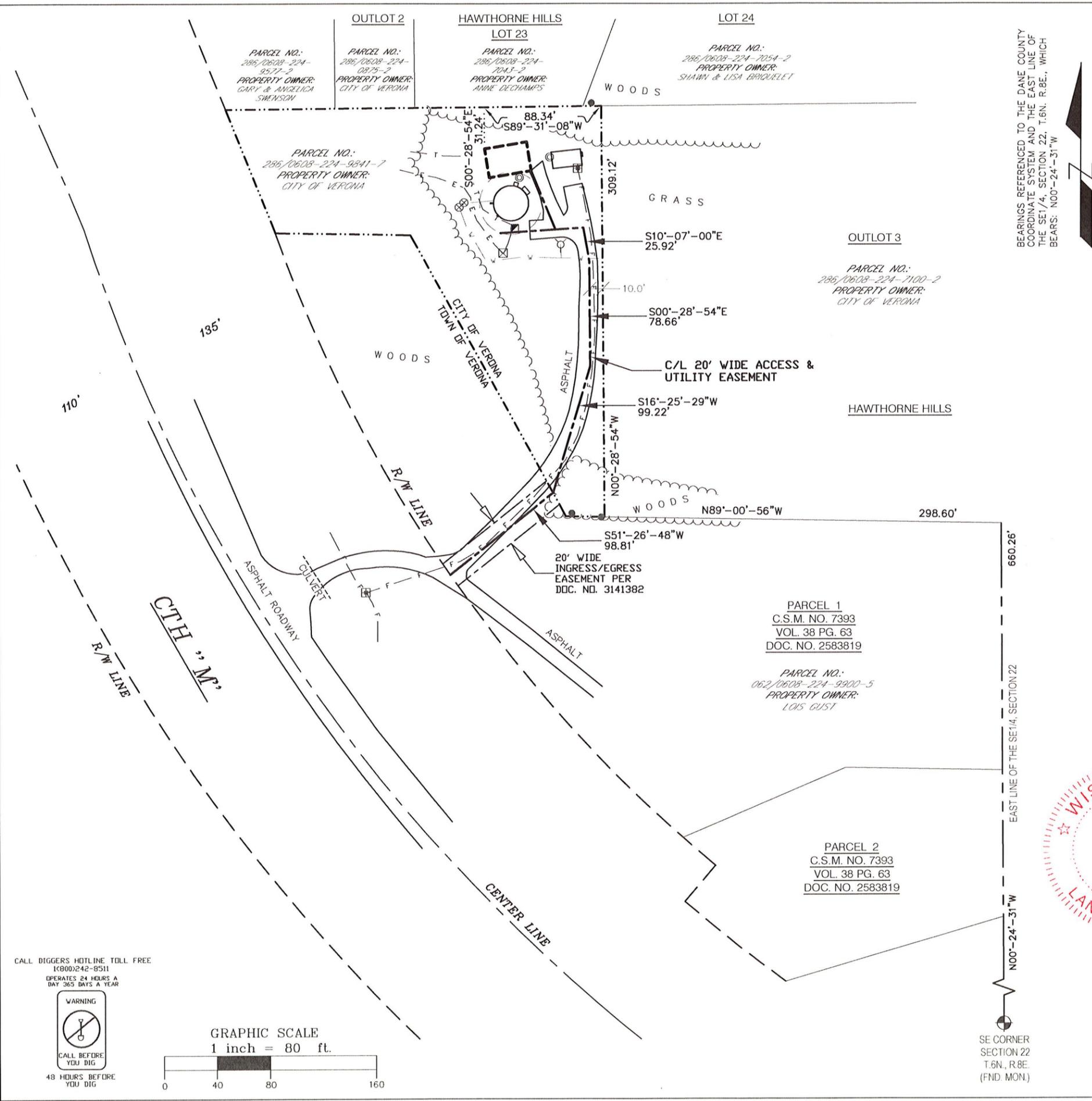
Commencing at the Southeast Corner of said Section 22; thence $N00^{\circ}-24'-31''W$ 660.26 feet along the east line of the SE1/4 of said Section 22 to a point on the south line of Outlot 3 of Hawthorne Hills Subdivision as recorded as Document No. 3962939; thence $N89^{\circ}-00'-56''W$ 298.60 feet along said south line of Outlot 3 to the southwest corner thereof; thence $N00^{\circ}-28'-54''W$ 309.12 feet along the west line of said Outlot 3 to the northwest corner thereof; thence $S89^{\circ}-31'-08''W$ 88.34 feet along the south line of Lot 23 and Lot 24 of said Hawthorne Hills Subdivision; thence $S00^{\circ}-28'-54''E$ 31.24 feet to the point of beginning; thence $N80^{\circ}-45'-47''E$ 32.00 feet; thence $S09^{\circ}-14'-13''E$ 22.00 feet; thence $S80^{\circ}-45'-47''W$ 32.00 feet; thence $N09^{\circ}-14'-13''W$ 22.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

20' WIDE ACCESS & UTILITY EASEMENT

A part of Parcel 1 of Certified Survey Map No. 7393 as recorded in Volume 38 on Page 63 as Document No. 2583819, being located in the Town of Verona, and also a part of the Southeast Quarter (SE1/4) of the Southeast Quarter (SE1/4) of Section Twenty-Two (22), Township Six (6) North, Range Eight (8) East, City of Verona, Dane County, Wisconsin containing 8,054 square feet (0.185 acres) of land and being Ten (10) feet each side of and parallel with the following described line:

Commencing at the Southeast Corner of said Section 22; thence $N00^{\circ}-24'-31''W$ 660.26 feet along the east line of the SE1/4 of said Section 22 to a point on the south line of Outlot 3 of Hawthorne Hills Subdivision as recorded as Document No. 3962939; thence $N89^{\circ}-00'-56''W$ 298.60 feet along said south line of Outlot 3 to the southwest corner thereof; thence $N00^{\circ}-28'-54''W$ 309.12 feet along the west line of said Outlot 3 to the northwest corner thereof; thence $S89^{\circ}-31'-08''W$ 88.34 feet along the south line of Lot 23 and Lot 24 of said Hawthorne Hills Subdivision; thence $S00^{\circ}-28'-54''E$ 31.24 feet; thence $N80^{\circ}-45'-47''E$ 32.00 feet; thence $S09^{\circ}-14'-13''E$ 22.00 feet to the point of beginning; thence $S22^{\circ}-27'-29''E$ 47.89 feet to a point herein after referred to as Point "A"; thence $S86^{\circ}-24'-24''W$ 41.69 feet to the point of termination. Also beginning at said Point "A"; thence $N86^{\circ}-24'-24''E$ 21.14 feet; thence $S10^{\circ}-07'-00''E$ 25.92 feet; thence $S00^{\circ}-28'-54''E$ 78.66 feet along a line that is 10 feet west of and parallel to the West line of Outlot 3 of said Hawthorne Hills Subdivision Plat; thence $S16^{\circ}-25'-29''W$ 99.22 feet; thence $S51^{\circ}-26'-48''W$ 98.81 feet to a point on the easterly line of County Highway "M" and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said easterly line of County Highway "M".

EXHIBIT B
SITE PLAN



EXISTING WATER TOWER BASE
 LATITUDE: 42°-58'-29.95"
 LONGITUDE: 89°-31'-30.25"
 (Per North American Datum of 83/2011)
 Ground Elevation: 1037.5'
 (Per North American Vertical Datum of 1988)

- LEGEND-**
- = COUNTY MONUMENT FOUND
 - = 1" IRON PIPE FOUND
 - = 1" X 18" IRON PIPE SET
 - = 6" NAIL SET
 - = ELECTRIC TRANSFORMER
 - = TELEPHONE PEDESTAL
 - = FIBER OPTIC VAULT
 - = GROUNDING PORT
 - = WATER VALVE
 - = FIRE HYDRANT
 - = BURIED TELEPHONE
 - = BURIED ELECTRIC
 - = BURIED ELEC. & TELE.
 - = BURIED FIBER OPTIC LINE
 - = WATER MAIN
 - = PROPERTY LINE



SURVEYOR'S CERTIFICATE
 I, Craig A. Keach, Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this 6th day of JANUARY, 2020.

 WISCONSIN PROFESSIONAL LAND SURVEYOR
 Craig A. Keach S-2333

SURVEYED FOR:

Edge
 Consulting Engineers, Inc.
 624 Water Street
 Prairie du Sac, WI 53578
 608.644.1449 voice
 608.644.1549 fax
 www.edgeconsult.com

SURVEYED FOR:

verizon
 1515 WOODFIELD ROAD
 SUITE 1400
 SCHAUMBURG, IL 60173

MERIDIAN
 SURVEYING, LLC
 N9637 Friendship Drive Office: 920-993-0881
 Kaukauna, WI 54130 Fax: 920-273-6037

SITE NAME:
 WHALEN

SITE NUMBER:
 458621

SITE ADDRESS:
 825 COUNTY HIGHWAY M
 VERONA, WI 53593

PROPERTY/TOWER OWNER:
 CITY OF VERONA
 111 LINCOLN ST.
 VERONA, WI 53593

PARCEL NO.: 286/0608-224-9841-7

ZONED: PUBLIC INSTITUTIONAL

DEED REFERENCE:
 DOCUMENT NO. 3141378

LEASE EXHIBIT
 FOR
 VERIZON WIRELESS PERSONAL
 COMMUNICATIONS LP d/b/a VERIZON WIRELESS
 BEING A PART OF THE SE 1/4 OF THE
 SE 1/4, SECTION 22, T.6N., R.8E., CITY
 OF VERONA, DANE COUNTY, WISCONSIN

NO.	DATE	DESCRIPTION	BY
4	1/6/20	Revised Legal Description	JD
3	1/21/19	Added Lease and Easement	JD
2	8/16/18	Added Water Main	JB
1	7/16/18	Preliminary Survey	WM

DRAWN BY: W.M. FIELD WORK DATE: 7-12-18

CHECKED BY: C.A.K. FIELD BOOK: M-45, PG.63

JOB NO.: 10454 SHEET 1 OF 4

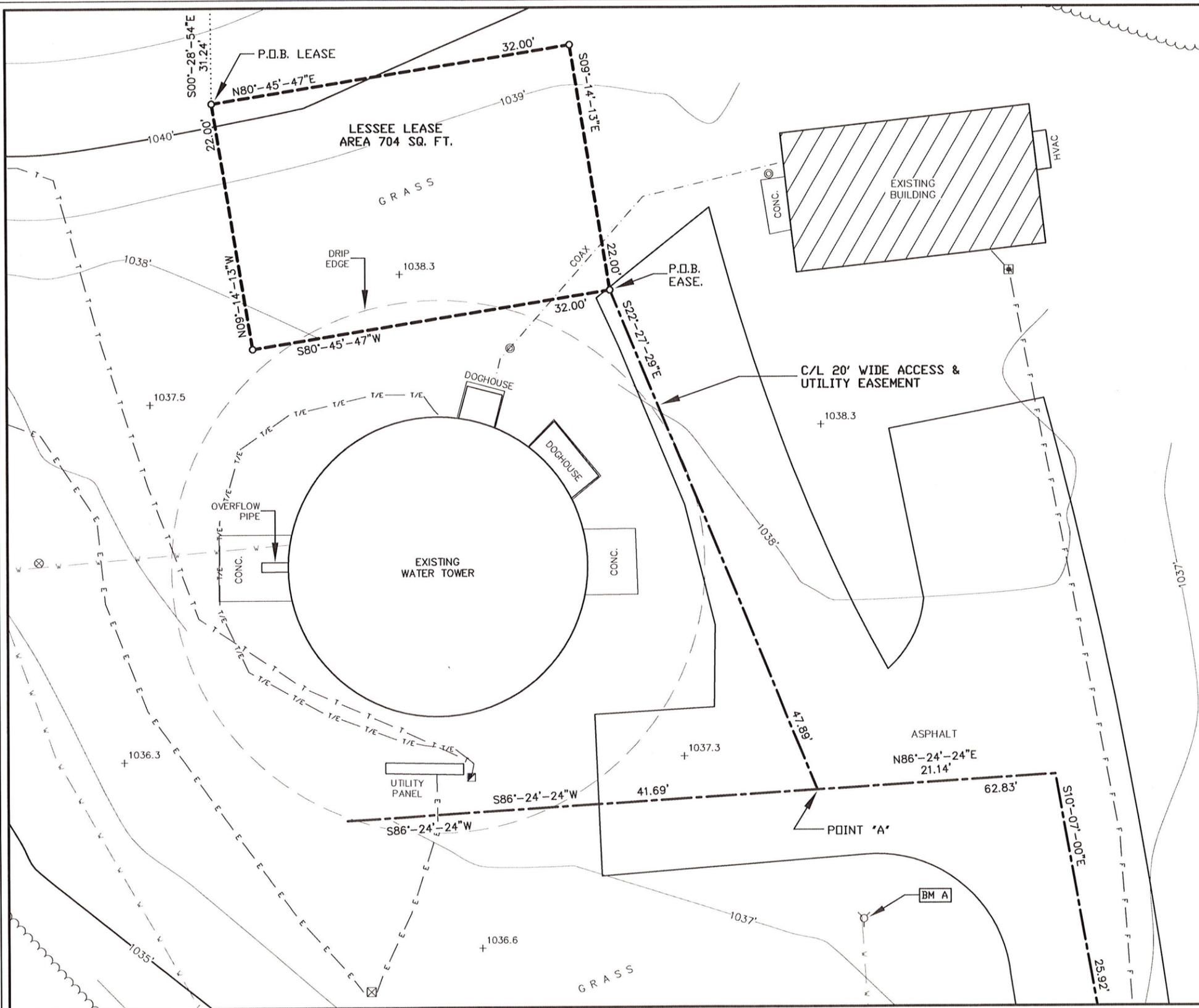
CALL DIGGERS HOTLINE TOLL FREE
 1(800)242-8511
 OPERATES 24 HOURS A DAY 365 DAYS A YEAR

WARNING

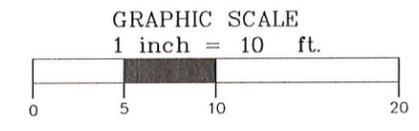
 CALL BEFORE YOU DIG
 48 HOURS BEFORE YOU DIG

GRAPHIC SCALE
 1 inch = 80 ft.

0 40 80 160



- LEGEND-**
- ⊙ = COUNTY MONUMENT FOUND
 - = 1" IRON PIPE FOUND
 - = 1" X 18" IRON PIPE SET
 - = 6" NAIL SET
 - ⊠ = ELECTRIC TRANSFORMER
 - ⊞ = TELEPHONE PEDESTAL
 - ⊕ = FIBER OPTIC VAULT
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 - ⊗ = WATER VALVE
 - ⊕ = FIRE HYDRANT
 - T --- T --- = BURIED TELEPHONE
 - E --- E --- = BURIED ELECTRIC
 - T/E --- T/E --- = BURIED ELEC. & TELE.
 - F --- F --- = BURIED FIBER OPTIC LINE
 - W --- W --- = WATER MAIN
 - --- --- = PROPERTY LINE



BENCHMARK INFORMATION
 SITE BENCHMARK: (BM A)
 TOP OF TAG BOLT ON HYDRANT
 ELEVATION: 1038.84'

BEARINGS REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM AND THE EAST LINE OF THE SE1/4, SECTION 22, T.6N., R.8E., WHICH BEARS: N00°-24'-31"W



SURVEYOR'S CERTIFICATE
 I, Craig A. Keach, Professional Land Surveyor of Meridian Surveying, LLC., certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this 6th day of JANUARY, 2020.
Craig A. Keach
 WISCONSIN PROFESSIONAL LAND SURVEYOR
 Craig A. Keach, S-2333

SURVEY NOTES:

- THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN.
- DIGGERS HOTLINE TICKET NO. 20182715611 & 20182715082.
- PRIVATE UTILITIES MARKED ON 7-12-2018.

-THIS IS NOT A BOUNDARY SURVEY OF THE PARENT PARCEL. THIS SURVEY REPRESENTS THE LEASE AREA AND EASEMENTS ONLY.

FEMA NOTE:
 -ACCORDING TO FEDERAL EMERGENCY AGENCY MAPS, THE EXISTING TELECOMMUNICATIONS SITE IS LOCATED IN ZONE "X", COMMUNITY PANEL NO. 55025C0557G, DATED JANUARY 2 2009, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. ZONE "X" IS DESIGNATED AS: "AREAS DETERMINED TO BE OUTSIDE OF 500-YEAR FLOOD PLAIN".

WETLAND NOTE:
 -THE PRESENCE AND LOCATION OF WETLANDS HAS NOT BEEN DETERMINED ON THIS PROPERTY. WETLANDS SHOULD ONLY BE DETERMINED BY ACTUAL FIELD DELINEATION PERFORMED BY A QUALIFIED WETLAND SPECIALIST.

SURVEYED FOR:

Edge
 Consulting Engineers, Inc.
 624 Water Street
 Prairie du Sac, WI 53578
 608.644.1449 voice
 608.644.1549 fax
 www.edgeconsult.com

SURVEYED FOR:

verizon

1515 WOODFIELD ROAD
 SUITE 1400
 SCHAUMBURG, IL 60173

MERIDIAN
 SURVEYING, LLC

N9637 Friendship Drive Office: 920-993-0881
 Kaukauna, WI 54130 Fax: 920-273-6037

SITE NAME:
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SITE NUMBER:
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SITE ADDRESS:
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PROPERTY/TOWER OWNER:
 CITY OF VERONA
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PARCEL NO.: 286/0608-224-9841-7

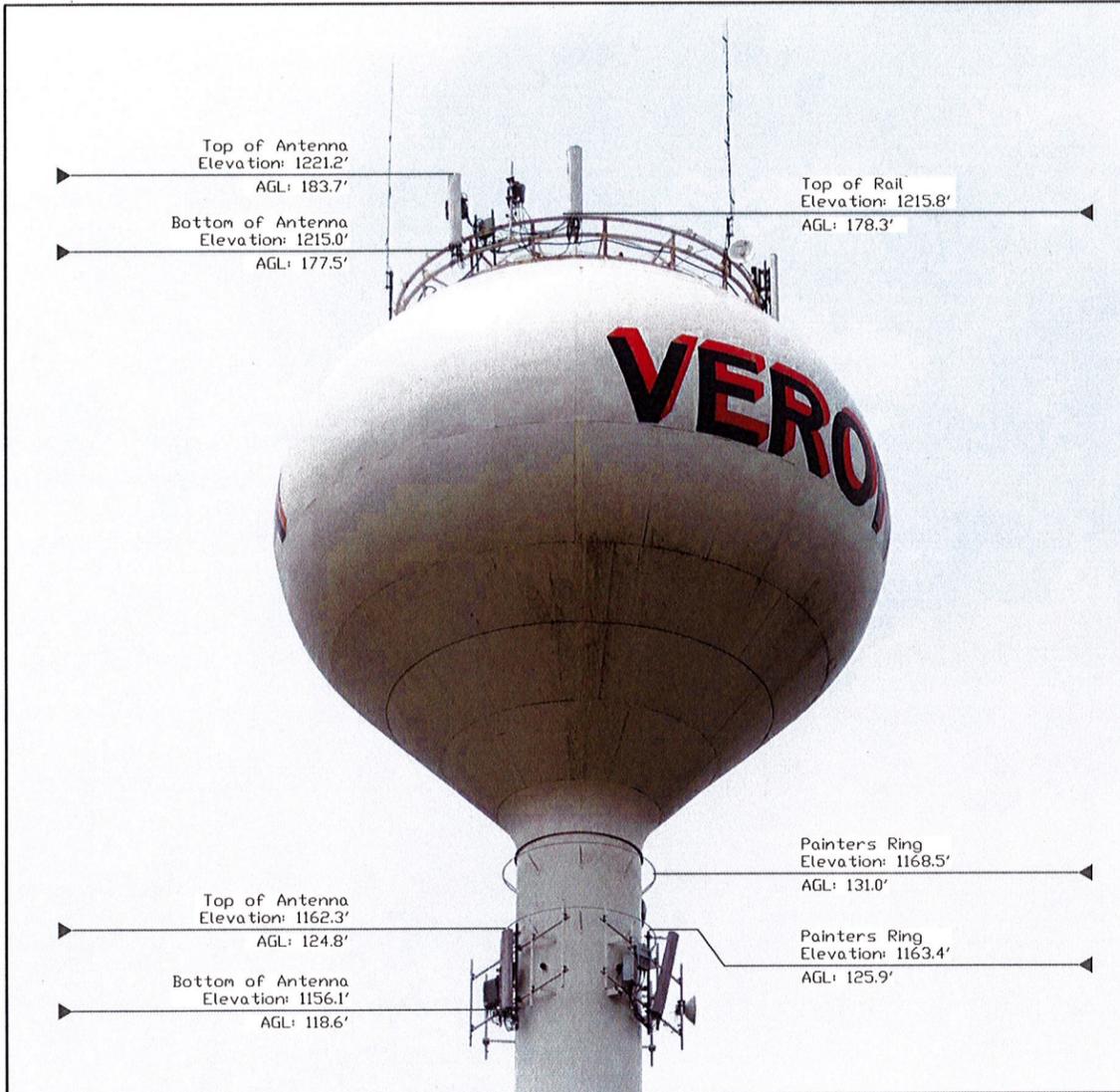
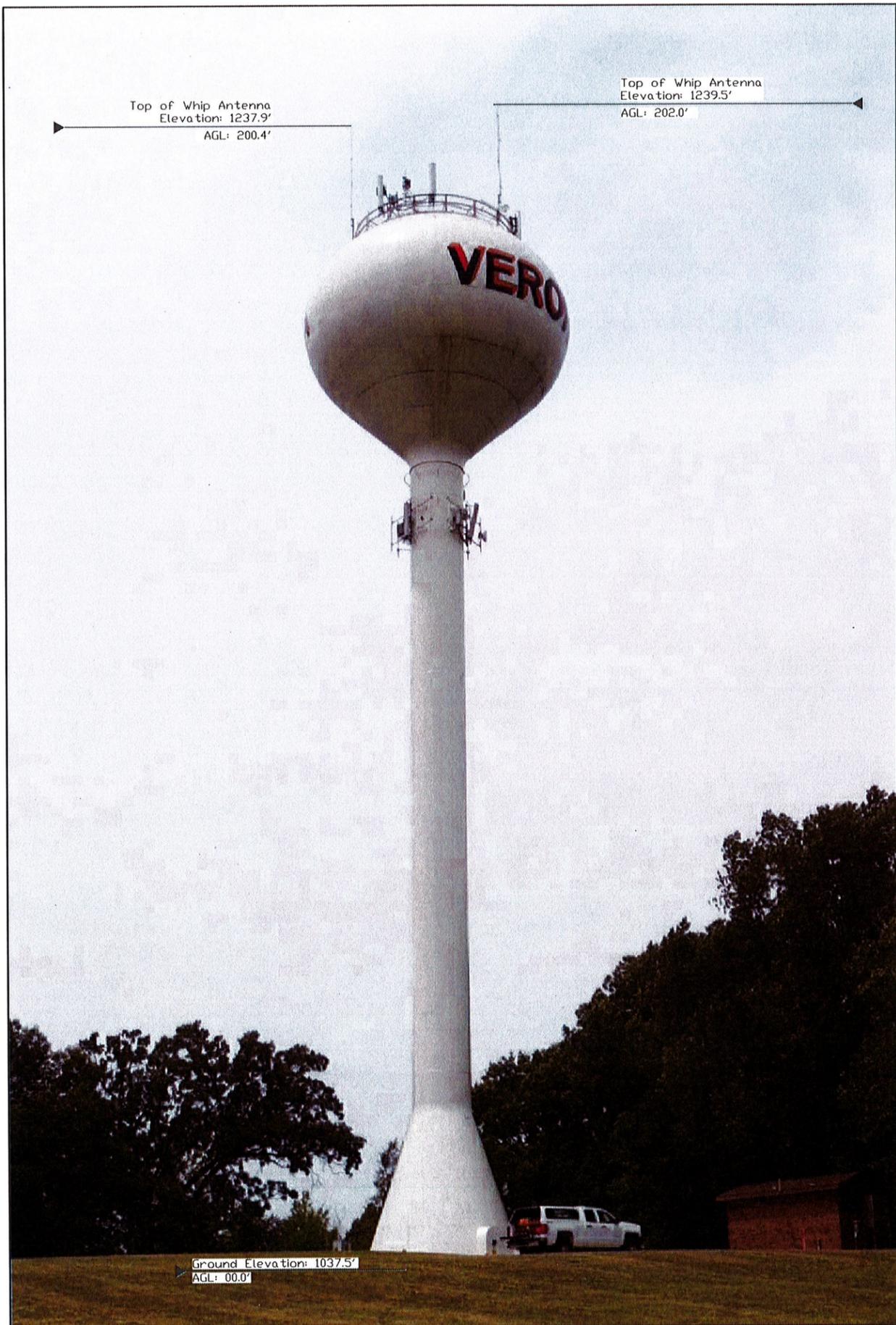
ZONED: PUBLIC INSTITUTIONAL

DEED REFERENCE:
 DOCUMENT NO. 3141378

LEASE EXHIBIT
 FOR
 VERIZON WIRELESS PERSONAL COMMUNICATIONS LP d/b/a VERIZON WIRELESS
 BEING A PART OF THE SE1/4 OF THE SE1/4, SECTION 22, T.6N., R.8E., CITY OF VERONA, DANE COUNTY, WISCONSIN

NO.	DATE	DESCRIPTION	BY
4	1/6/20	Revised Legal Description	JD
3	1/21/19	Added Lease and Easement	JD
2	8/16/18	Added Water Main	JB
1	7/16/18	Preliminary Survey	WM

DRAWN BY: W.M.	FIELD WORK DATE: 7-12-18
CHECKED BY: C.A.K.	FIELD BOOK: M-45, PG.63
JOB NO.: 10454	SHEET 2 OF 4



SURVEYED FOR:

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SITE NAME:
WHALEN

SITE NUMBER:
458621

SITE ADDRESS:
**825 COUNTY HIGHWAY M
 VERONA, WI 53593**

PROPERTY/TOWER OWNER:
 CITY OF VERONA
 111 LINCOLN ST.
 VERONA, WI 53593

PARCEL NO.: 286/0608-224-9841-7

ZONED: PUBLIC INSTITUTIONAL

DEED REFERENCE:
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DRAWN BY: W.M. FIELD WORK DATE: 7-12-18

CHECKED BY: C.A.K. FIELD BOOK: M-45, PG.63

JOB NO.: 10454 SHEET 3 OF 4

Craig A. Keach
 WISCONSIN
 CRAIG A. KEACH
 S-2333
 NEENAH
 WIS.
 LAND SURVEYOR
 JANUARY 6, 2020

LESSEE LEASE AREA

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20' WIDE ACCESS & UTILITY EASEMENT

A part of Parcel 1 of Certified Survey Map No. 7393 as recorded in Volume 38 on Page 63 as Document No. 2583819, being located in the Town of Verona, and also a part of the Southeast Quarter (SE1/4) of the Southeast Quarter (SE1/4) of Section Twenty-Two (22), Township Six (6) North, Range Eight (8) East, City of Verona, Dane County, Wisconsin containing 8,054 square feet (0.185 acres) of land and being Ten (10) feet each side of and parallel with the following described line:

Commencing at the Southeast Corner of said Section 22; thence N00°-24'-31"W 660.26 feet along the east line of the SE1/4 of said Section 22 to a point on the south line of Outlot 3 of Hawthorne Hills Subdivision as recorded as Document No. 3962939; thence N89°-00'-56"W 298.60 feet along said south line of Outlot 3 to the southwest corner thereof; thence N00°-28'-54"W 309.12 feet along the west line of said Outlot 3 to the northwest corner thereof; thence S89°-31'-08"W 88.34 feet along the south line of Lot 23 and Lot 24 of said Hawthorne Hills Subdivision; thence S00°-28'-54"E 31.24 feet; thence N80°-45'-47"E 32.00 feet; thence S09°-14'-13"E 22.00 feet to the point of beginning; thence S22°-27'-29"E 47.89 feet to a point herein after referred to as Point "A"; thence S86°-24'-24"W 41.69 feet to the point of termination. Also beginning at said Point "A"; thence N86°-24'-24"E 21.14 feet; thence S10°-07'-00"E 25.92 feet; thence S00°-28'-54"E 78.66 feet along a line that is 10 feet west of and parallel to the West line of Outlot 3 of said Hawthorne Hills Subdivision Plat; thence S16°-25'-29"W 99.22 feet; thence S51°-26'-48"W 98.81 feet to a point on the easterly line of County Highway "M" and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said easterly line of County Highway "M".

SURVEYED FOR:



Edge
Consulting Engineers, Inc.

624 Water Street
Prairie du Sac, WI 53578
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

SURVEYED FOR:



verizon

1515 WOODFIELD ROAD
SUITE 1400
SCHAUMBURG, IL 60173

MERIDIAN

SURVEYING, LLC

N9637 Friendship Drive Office: 920-993-0881
Kaukauna, WI 54130 Fax: 920-273-6037

SITE NAME:
WHALEN

SITE NUMBER:
458621

SITE ADDRESS:
825 COUNTY HIGHWAY M
VERONA, WI 53593

PROPERTY/TOWER OWNER:
CITY OF VERONA
111 LINCOLN ST.
VERONA, WI 53593

PARCEL NO.: 286/0608-224-9841-7

ZONED: PUBLIC INSTITUTIONAL

DEED REFERENCE:
DOCUMENT NO. 3141378

LEASE EXHIBIT

FOR
VERIZON WIRELESS PERSONAL
COMMUNICATIONS LP d/b/a VERIZON WIRELESS

BEING A PART OF THE SE1/4 OF THE
SE1/4, SECTION 22, T.6N., R.8E., CITY
OF VERONA, DANE COUNTY, WISCONSIN

NO.	DATE	DESCRIPTION	BY
4	1/6/20	Revised Legal Description	JD
3	1/21/19	Added Lease and Easement	JD
2	8/16/18	Added Water Main	JB
1	7/16/18	Preliminary Survey	WM

DRAWN BY: W.M. **FIELD WORK DATE:** 7-12-18

CHECKED BY: C.A.K. **FIELD BOOK:** M-45, PG.63

JOB NO.: 10454 **SHEET** 4 **OF** 4



TYP. TECHN Y ARBORVITAE



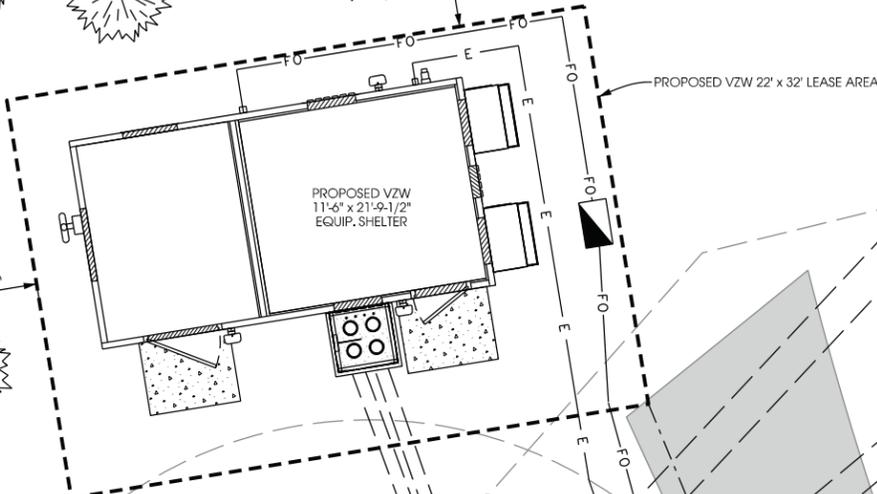
NORTH

TYP. DARK GREEN ARBORVITAE SCREENING TREES, MIN. PLANTING SIZE OF 5' IN HEIGHT, SPACE 7'-0" O.C. (10) TOTAL.

APPROX. LOCATION OF EXISTING BURIED UTILITIES

EXISTING TREE LINE

EXISTING TREE LINE



PROPOSED VZW 22' x 32' LEASE AREA

PROPOSED VZW 11'-6" x 21'-9-1/2" EQUIP. SHELTER

EXISTING OTHER CARRIER EQUIP. SHELTER

EXISTING WATER TOWER

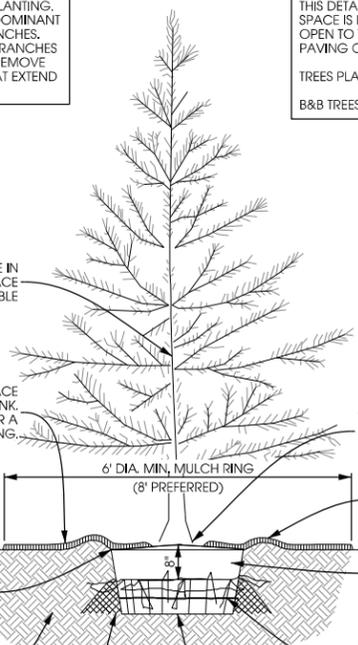
EXISTING ASPHALT ACCESS DRIVE

NOTE:
DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

NOTE:
THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 2400 MM (8 FT.) SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.
TREES PLANTED IN NON-RESTRICTED SOIL CONDITIONS B&B TREES IN ALL SOIL TYPES

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE

50 MM (2 IN.) MULCH. DO NO PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.



EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

REMOVE ALL TWINE, ROPE AND WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL.

IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 200 MM (8") INTO PLANTING HOLE.

NOTE: FOR DIMENSIONS OF PLANTING AREAS, TYPES OF SOIL AMENDMENTS, OR SOIL REPLACEMENT, SEE "SOIL IMPROVEMENT DETAILS."

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

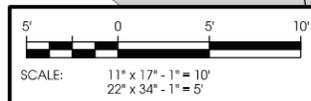
LEGEND:



= DARK GREEN ARBORVITAE (10) MIN. PLANTING SIZE = 5' HEIGHT

NOTES:
- PLANT CONTAINER OR BALLED-AND-BURLAPED PLANTS IN SPRING OR FALL
- PLANT ON A RAISED BED TO ENSURE GOOD DRAINAGE
- ALL EXPOSED AREAS SHALL BE PROTECTED AGAINST WASHOUTS AND SOIL EROSION

NOTES:
- MINIMIZE DISTURBANCE TO SITE'S TREES, PLANTS AND NATURAL ROCK OUT AS MUCH AS POSSIBLE FOR PROPOSED CONSTRUCTION.
- (2) STAKES PER TREE TO BE INSTALLED FOR PLANTING AND GROWTH STABILITY



SCALE: 11" x 17" - 1" = 10'
22" x 34" - 1" = 5'

**LANDSCAPE PLAN
WHALEN [458621]
VERONA, WISCONSIN**

SHEET TITLE:

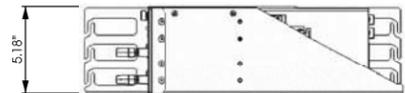
PRELIMINARY DWGS:	INI:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV
STAMPED PERMIT DWGS:	

STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV

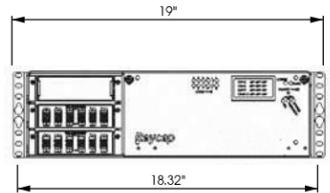
CHECKED BY:
PCM
PLOT DATE:
11/11/2019
PROJECT #:
20090
FILE NAME:
L-1.dgn

SHEET NUMBER:
1-1

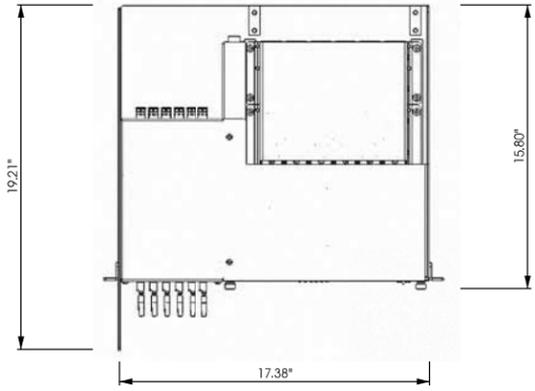
DC SURGE PROTECTOR:
 RAYCAP PART # RCMDC-4520-RM-48
 RACK MOUNTED DISTRIBUTION SURGE PROTECTION FOR 12 RRH DC CIRCUITS
 DIMENSIONS: 5.18" x 18.32" x 15.80" (H x W x D)
 WEIGHT: 22.10 LBS



SIDE VIEW



FRONT VIEW



PLAN VIEW

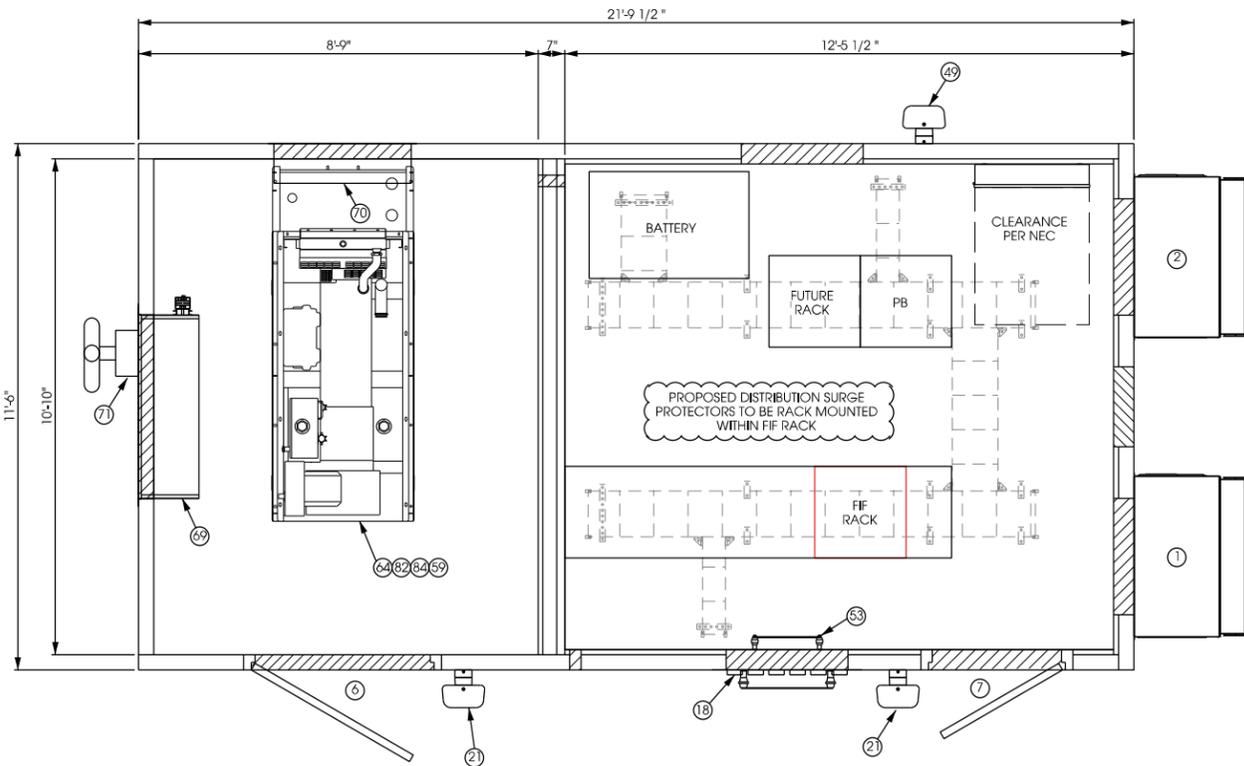
A RACK MOUNTED SURGE PROTECTOR
 SCALE: NTS

NOTES:
 EQUIPMENT ENCLOSURE IS MANUFACTURED BY FIBREBOND CORPORATION, 1300 DAVENPORT DRIVE, MINDEN, LA 71055. THIS SHEET IS PROVIDED AS A GUIDE ONLY. REFER TO ACTUAL FIBREBOND DRAWINGS FOR FULL BUILDING PLANS.
 THIS STRUCTURE IS NOT DESIGNED FOR HUMAN HABITATION.
 DESIGN CRITERIA:
 ROOF LIVE LOAD = 105 PSF
 FLOOR LIVE LOAD = 150 PSF
 CONCENTRATED DEAD LOAD AT BATTERY = 8,300 LBS
 CONCENTRATED DEAD LOAD AT GENERATOR = 5,500 LBS
 BASIC WIND SPEED (3-SECOND GUST) = 140 MPH
 WIND IMPORTANCE FACTOR = 1.15
 OCCUPANCY CATEGORY = IV
 SEISMIC SITE CLASS = D
 SEISMIC IMPORTANCE FACTOR = 1.50
 DESIGN SPECTRAL ACCELERATIONS = 1.00
 SEISMIC DESIGN CATEGORY = D
 FLAT ROOF SNOW LOAD = 80 PSF
 ENCLOSURE AND ASSOCIATED EQUIPMENT IS PROVIDED BY OWNER UNDER SEPARATE CONTRACT. EQUIPMENT ENCLOSURE INFORMATION INDICATED IS PROVIDED FOR REFERENCE ONLY AND IS TAKEN FROM MANUFACTURER'S AVAILABLE DATA. REFER TO CIVIL, STRUCTURAL, AND ELECTRICAL DRAWINGS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT.

SHELTER EXTERIOR TO BE A BRICK PATTERN AND COLOR TO MATCH EXISTING CARRIERS EQUIPMENT SHELTER

CITY IS REQUIRING A SHELTER TO BE USED AT THIS SITE LOCATION

ITEM NO.	DESCRIPTION
1.	HVAC #1
2.	HVAC #2
4.	ILC PANEL (OPTIONAL)
5.	DOOR LOCK (OPTIONAL)
6.	DOOR, 4070 16 GA. GALV. W/ 161 PREP POLYSTYRENE INSULATION, 1.5 HOUR FIRE RATED
7.	DOOR, 3070 16 GA. GALV. W/ 161 PREP POLYSTYRENE INSULATION, 1.5 HOUR FIRE RATED
9.	HINGE, 83" ALUMINUM CONTINUOUS CONCEALED PIANO
10.	HOLDER, 304SS, MODEL 5601
11.	LOCK GUARD, 5" x 7"
13.	PULL HANDLE
14.	DOOR SWEEP, 42"
16.	DOOR STOP (BLACK RUBBER)
17.	RECEPTACLE, 20 AMP GFCI/RECEPTACLE, COVER/2" x 4" W.P.J.B.
18.	WAVEGUIDE, 4" 24 PORT WITH PVC CAPS
21.	EXTERIOR LIGHT, LED WITH PHOTOCELL
32.	3/4" SCHEDULE 40 PVC CAST @ 45°
34.	PEEP HOLE, LARGE 180 DEGREE VIEWER DOOR SCOPE
38.	GROUND BAR 1/4" x 4" x 24" GALV. STEEL STAMPED "VZW STEEL BAR - DO NOT RECYCLE" (EXTERIOR)
40.	BOX, 4" W.P.J.B. W/ 3/4" PLG W/ COVER
41.	BOX, 4" W.P.J.B. W/ 3/4" PLG W/ 3/4" x 1/2" REDUCING BUSHINGS W/ COVER
49.	EXTERIOR LIGHT, LED WITH PHOTOCELL (OPTIONAL)
51.	BLOWER, PSC 75CFM, 115V (OPTIONAL)
53.	GROUND BAR 1/4" x 4" x 18" GALV. STEEL STAMPED "VZW STEEL BAR - DO NOT RECYCLE"
57.	RECEPTACLE, APLTN 200A 4W4P RS, REV. SERVICE W/ MOUNTING BOX (OPTIONAL)
59.	ELBOW, 2" STREET 45 DEGREE- BLACK (OPTIONAL)
60.	SIGN, NFPA "B,ACID" MSDS HZRD
62.	SIGN, UNIFORM FIRE CODE DANGER
64.	60 kw MAX SEE BUILDING COVER SHEET FOR MORE INFORMATION
67.	TANK EXTERIOR 5 GALLON FILL/SPILL CONTAINMENT CUSTOMER SUPPLIED
68.	ALARM BOX REMOTE OVERFILL CUSTOMER SUPPLIED (OPTIONAL)
69.	DAMPER INTAKE 48" x 48", SPRING OPEN, 14" SLEEVE, 2" FLANGE, INSECT SCREEN, 2" FILTER RACK/INTAKE LOUVER 48" x 48"
70.	DAMPER EXHAUST, 36" x 36", 14" SLEEVE, INSECT SCREEN/LOUVER, EXHAUST 36" x 36" STATIONARY DRAINABLE BLADE, GRAVITY THIMBLE
75.	RECEPTACLE 20AMP 120V SINGLE W/ COVER IN 2x4 JUNCTION BOX (OIL HEATER)
76.	DOOR SWEEP, 48"
82.	CAP, 2" HINGED STYLE LOCKABLE ALUMINUM FILL
83.	CHECK VALVE 2" VERTICAL
84.	BALL VALVE 2" FULL PORT
90.	52" POWDER COATED MESA TAN 22 GA. DOOR CANOPY (OPTIONAL)



B EQUIPMENT BUILDING INTERIOR
 SCALE: 11" x 17" - 1/4" = 1'-0"
 22" x 34" - 1/2" = 1'-0"

EQUIPMENT SHELTER INT.
WHALEN [458621]
VERONA, WISCONSIN

SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV
FINAL CD REV3 - 12/04/19	CV
CHECKED BY:	
PCM	
PLOT DATE:	12/4/2019
PROJECT #:	20090
FILE NAME:	S-3.dgn
SHEET NUMBER:	

I:\20090\20090\CAD\Plot\CD\A\S-3.dgn

RF EMISSIONS REPORT REQUIRED

YES NO

Date: 01/31/19

HYBRID CABLE INFO

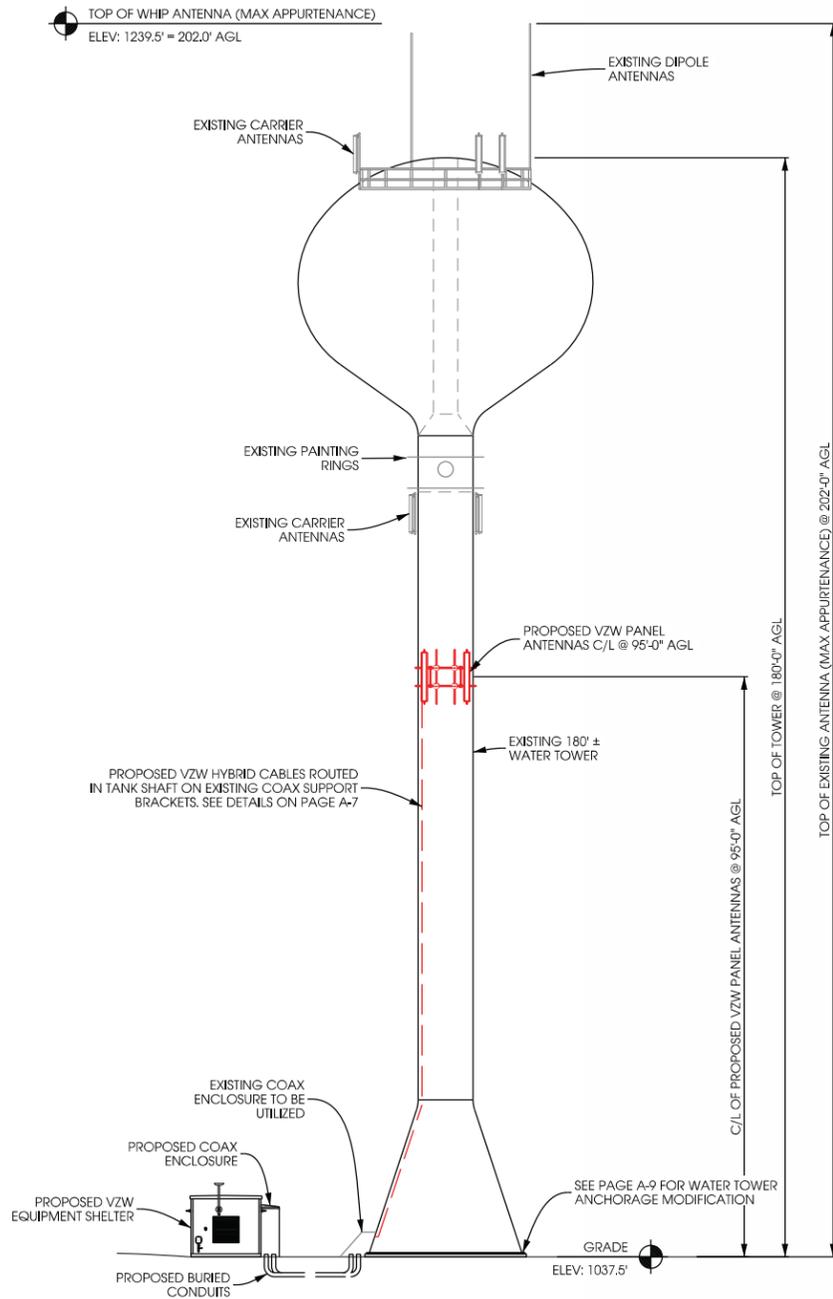
QUANTITY	3
DIST. FROM GROUND SURGE PROTECTOR TO TOWER CENTER	50'±
LENGTH FROM T.O.C. TO TOWER SURGE PROTECTOR C/L	95'±
HORIZONTAL DISTANCE TO SURGE PROTECTOR	25'±
TOTAL HYBRID CABLE LENGTH TO SURGE PROTECTOR	170'±

NOTES:

- 1.) CONTRACTOR TO VERIFY HEIGHT AND DIRECTION OF ANTENNA WITH PROJECT MANAGER & FINAL RF DESIGN.
- 2.) HYBRID CABLE LENGTH NOT TO EXCEED 367'.
- 3.) HYBRID JUMPER CABLE LENGTH NOT TO EXCEED 30'.
- 4.) IF CABLING LENGTH EXCEEDS MAXIMUM ALLOWED CONTRACTOR SHALL CONTACT CLIENT AND ENGINEER TO RESOLVE PRIOR TO CONSTRUCTION.
- 5.) REFER TO STRUCTURAL REVIEW NOTE ON T-1.

TOWER MODIFICATION NOTE:

REFER TO TOWER MODIFICATION DRAWINGS COMPLETED BY EDGE CONSULTING ENGINEERS, INC. #20090, DATED 01/16/19, FOR MODIFICATION DETAILS.



A TOWER PROFILE (WEST ELEVATION)

SCALE: 11" x 17" - 1" = 30'-0"
22" x 34" - 1" = 15'-0"



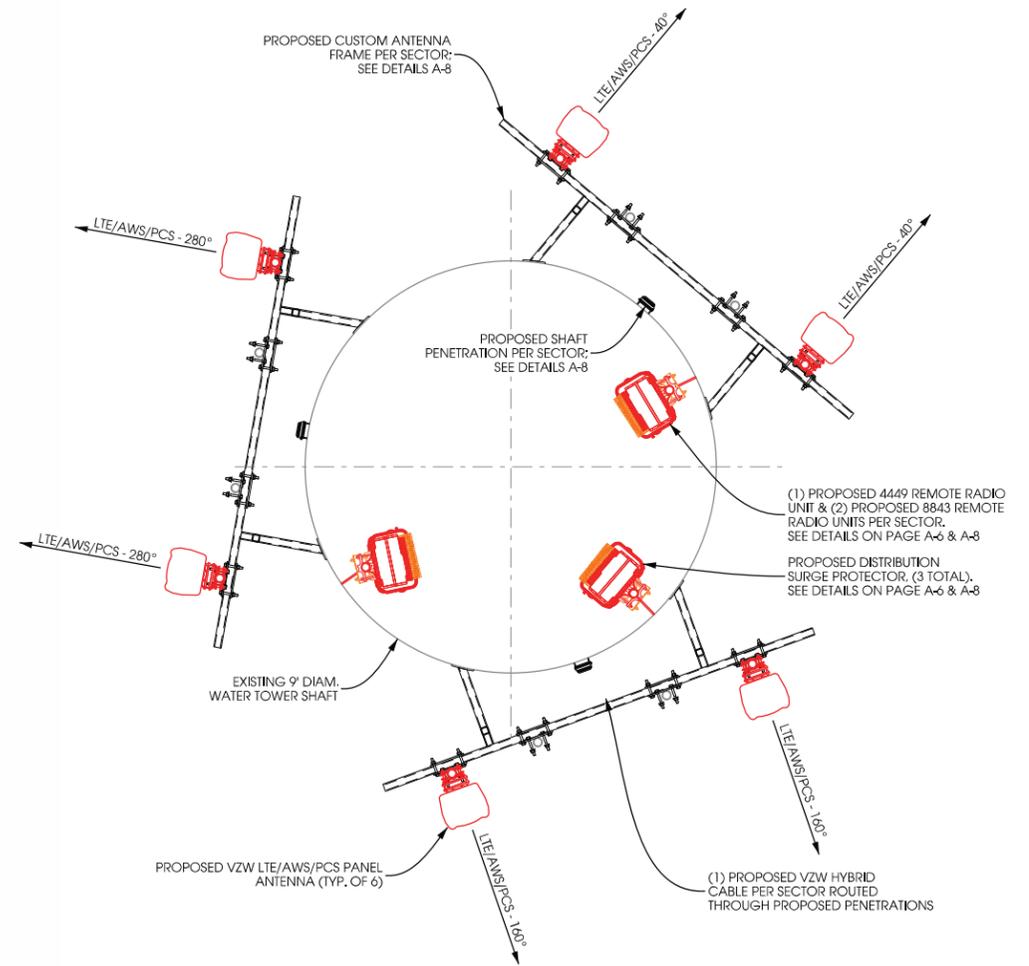
EXISTING TOWER PROFILE (LOOKING WEST)

LEGEND:

- PROPOSED LTE PANEL ANTENNA
- PROPOSED DISTRIBUTION SURGE PROTECTOR
- PROPOSED RRU 4449 REMOTE RADIO UNIT
- PROPOSED RRU 8843 REMOTE RADIO UNIT

NOTES:

- 1.) ALL ANTENNA AZIMUTHS REFERENCED FROM TRUE NORTH.
- 2.) SEE PAGE A-6 FOR INSTALLATION REQUIREMENTS OF ANTENNAS AND EQUIPMENT.



B ANTENNA & EQUIPMENT ORIENTATION

SCALE: NTS

**TOWER ELEVATION
WHALEN [458621]
VERONA, WISCONSIN**

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV
STAMPED PERMIT DWGS:	

STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV

CHECKED BY:
PCM
PLOT DATE:
11/11/2019
PROJECT #:
20090
FILE NAME:
A-1.dgn

SHEET NUMBER:

Project Detail		Location Information	
Site Type	MACRO	Siterra Site ID#	
Carrier Aggregation	true	Site Name	Whalen - B
MPT Id	527643	Siterra SR#	
eCIP-0	false	E-NodeB ID#	209523
Project Name	MANUAL Initial Build ENTRY -	PSLCH	458621
REDS Project ID	1381461	Switch Name	
Project ID	15308787	Tower Owner	
Site Traker Project ID	P-523523	Tower Type	Tank
REDS Project Scope		Street Address	825 County Highway M
		City	Verona
		State	WI
		Zip Code	53593
		County	Dane
		Latitude	42.97498611 / 42° 58' 29.94" N
		Longitude	-89.52506944 / 89° 31' 30.24" W

Antenna Summary

Added Antennas														
700 LTE	850 CDM A	850 LTE	1900 CDM A	1900 LTE	2100 LTE	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	QTY
YES				YES	YES	QUINTEL USA INC	QS8656-5	95	99	280(03),160(02),40(01)	true	true	PHYSICAL	6

Removed Antennas														
700 LTE	850 CDM A	850 LTE	1900 CDM A	1900 LTE	2100 LTE	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	QTY

Retained Antennas														
700 LTE	850 CDM A	850 LTE	1900 CDM A	1900 LTE	2100 LTE	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	QTY

Added: 6 Removed: 0 Retained: 0

NOTES:
 RF DESIGN AND DETAIL ON THIS PAGE PROVIDED BY VERIZON AND ARE INCLUDED FOR CONVENIENCE. FINAL RF DESIGN TO BE VERIFIED WITH VERIZON. IF SIGNIFICANT CHANGES OR DISCREPANCIES ARE IDENTIFIED, CONTACT ENGINEER PRIOR TO INSTALLATION.

Equipment Summary

Added Non Antennas													
Equipment Type	700 LTE	850 CDMA	850 LTE	1900 CDMA	1900 LTE	2100 LTE	Location	Make	Model	Cable Length	Cabl Size	Inst. Type	Quantity
OVP Box	YES				YES	YES	Tower	RAYCAP	3300			PHYSICAL	3
Hybrid Cable	YES				YES	YES	Tower	COMMSCOPE	HYBRID	200	1.5	PHYSICAL	3
OVP Box	YES				YES	YES	Shelter	RAYCAP	3300			PHYSICAL	3
RRU					YES	YES	Tower	Ericsson	8843			PHYSICAL	6
RRU	YES						Tower	Ericsson	4449			PHYSICAL	3

Removed Non Antennas													
Equipment Type	700 LTE	850 CDMA	850 LTE	1900 CDMA	1900 LTE	2100 LTE	Location	Make	Model	Cable Length	Cabl Size	Inst. Type	Quantity

Retained Non Antennas													
Equipment Type	700 LTE	850 CDMA	850 LTE	1900 CDMA	1900 LTE	2100 LTE	Location	Make	Model	Cable Length	Cabl Size	Inst. Type	Quantity

NOTES:
 RF DESIGN AND DETAIL ON THIS PAGE PROVIDED BY VERIZON AND ARE INCLUDED FOR CONVENIENCE. FINAL RF DESIGN TO BE VERIFIED WITH VERIZON. IF SIGNIFICANT CHANGES OR DISCREPANCIES ARE IDENTIFIED, CONTACT ENGINEER PRIOR TO INSTALLATION.

Services

	700 MHz LTE			
	Current Version:	Proposed Version:		
		0002		
		01	02	03
Sector		40	160	280
Azimuth		209523	209521	209523
Cell/ENode B ID		QS8656-5 V3- OF 757MHz_02DT_PORT1 (1548396)	QS8655-5 V3- OF 757MHz_02DT_PORT1 (1548396)	QS8656-5 V3- OF 757MHz_02DT_PORT1 (1548396)
Antenna Model		QUINTEL USA INC	QUINTEL USA INC	QUINTEL USA INC
Antenna Make		95	95	95
Centerline(Ft)		0	0	0
Mechanical DT(Deg.)		2	2	2
Electrical DT		99	99	99
Tip Height				
TMA make				
TMA model				
RRU make		Ericsson	Ericsson	Ericsson
RRU model		4449	4449	4449
# of Tx, Rx Lines		4,4	4,4	4,4
Position				

	2100 MHz LTE			
	Current Version:	Proposed Version:		
		0002		
		01	02	03
Sector		40	160	280
Azimuth		209523	209521	209523
Cell/ENode B ID		QS8656-5 V3- OF 2140MHz_02DT_PORT 3 (1528527)	QS8655-5 V3- OF 2140MHz_02DT_PORT 3 (1528527)	QS8656-5 V3- OF 2140MHz_02DT_PORT 3 (1528527)
Antenna Model		QUINTEL USA INC	QUINTEL USA INC	QUINTEL USA INC
Antenna Make		95	95	95
Centerline(Ft)		0	0	0
Mechanical DT(Deg.)		2	2	2
Electrical DT		99	99	99
Tip Height				
TMA make				
TMA model				
RRU make		Ericsson	Ericsson	Ericsson
RRU model		2x8843	2x8843	2x8843
# of Tx, Rx Lines		4,4	4,4	4,4
Position				

	1900 MHz LTE			
	Current Version:	Proposed Version:		
		0002		
		01	02	03
Sector		40	160	280
Azimuth		209523	209521	209523
Cell/ENode B ID		QS8656-5 V3- OF 1950MHz_02DT_PORT 3 (1528491)	QS8655-5 V3- OF 1950MHz_02DT_PORT 3 (1528491)	QS8656-5 V3- OF 1950MHz_02DT_PORT 3 (1528491)
Antenna Model		QUINTEL USA INC	QUINTEL USA INC	QUINTEL USA INC
Antenna Make		95	95	95
Centerline(Ft)		0	0	0
Mechanical DT(Deg.)		2	2	2
Electrical DT		99	99	99
Tip Height				
TMA make				
TMA model				
RRU make		Ericsson	Ericsson	Ericsson
RRU model		2x8843	2x8843	2x8843
# of Tx, Rx Lines		4,4	4,4	4,4
Position				

	AWS			
	Current Version:	Proposed Version:		
		0002		
		01	02	03
Sector		40	160	280
Azimuth		209523	209521	209523
Cell/ENode B ID		QS8656-5 V3- OF 2140MHz_02DT_PORT 3 (1528527)	QS8655-5 V3- OF 2140MHz_02DT_PORT 3 (1528527)	QS8656-5 V3- OF 2140MHz_02DT_PORT 3 (1528527)
Antenna Model		QUINTEL USA INC	QUINTEL USA INC	QUINTEL USA INC
Antenna Make		95	95	95
Centerline(Ft)		0	0	0
Mechanical DT(Deg.)		2	2	2
Electrical DT		99	99	99
Tip Height				
TMA make				
TMA model				
RRU make		Ericsson	Ericsson	Ericsson
RRU model		2x8843	2x8843	2x8843
# of Tx, Rx Lines		4,4	4,4	4,4
Position				

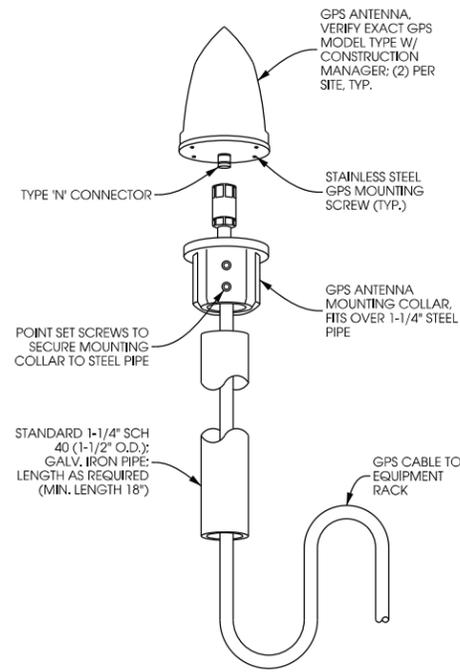
ANTENNA CONFIGURATION WHALEN [458621] VERONA, WISCONSIN

SHEET TITLE:

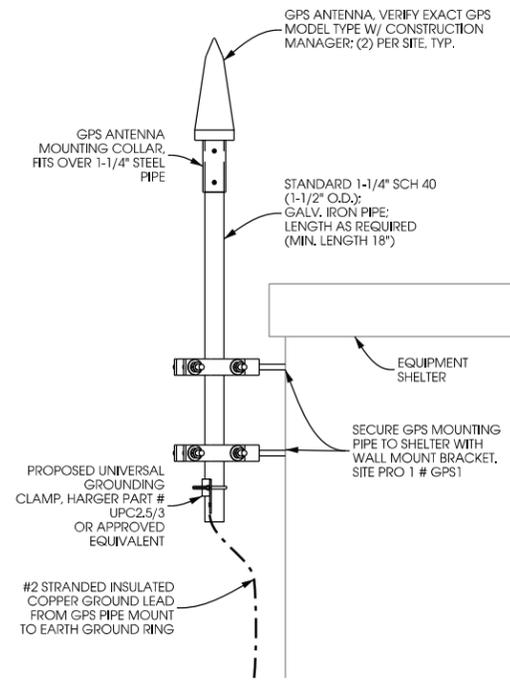
PRELIMINARY DWGS	INI:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV
STAMPED PERMIT DWGS:	

STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV

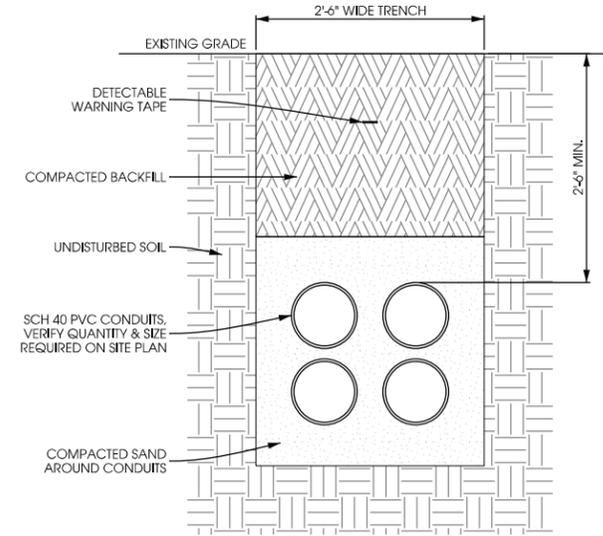
CHECKED BY:
 PCM
 PLOT DATE:
 11/11/2019
 PROJECT #:
 20090
 FILE NAME:
 A2.dgn



A **GPS ANTENNA**
SCALE: NTS



B **GPS POST MOUNT**
SCALE: NTS



C **COAX TRENCH DETAIL**
SCALE: 11 x 17 - 1/2" = 1'-0"
22 x 34 - 1" = 1'-0"

CONDUIT NOTES:
- MINIMUM ALLOWABLE SWEEP - 28" RADIUS
- CUT OFF TOP OF CONDUIT AT 6" AGL
- SCH 40, 90° LONG SWEEP ELBOW FROM CARLON, OR EQUIV. www.carlon.com
8" DIA. CONDUIT, 48" RAD. - PART # UA9HT

INSTALLATION DETAILS
WHALEN [458621]
VERONA, WISCONSIN

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SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV

STAMPED PERMIT DWGS:	

STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV

CHECKED BY:
PCM
PLOT DATE:
11/11/2019
PROJECT #:
20090
FILE NAME:
A-4.dgn

SHEET NUMBER:
A-4

STRUCTURAL DESIGN CRITERIA

- GOVERNING CODES:** WELDED CARBON STEEL TANKS FOR WATER STORAGE, AWWA D100-11
- SNOW LOAD:**
MINIMUM DESIGN SNOW LOAD: PD = 30 PSF
- WIND DESIGN DATA:**
BASIC WIND SPEED (3-SECOND GUST): V = 90 MPH
WIND IMPORTANCE FACTOR: IW = 1.15
WIND EXPOSURE: C
- EARTHQUAKE DESIGN DATA:**
OCCUPANCY CATEGORY: III
MAPPED, MCE 5% DAMPED, SPECTRAL ACCELERATIONS:
AT SHORT PERIODS: S_s = 0.086G
AT A PERIOD OF 1 SECOND: S₁ = 0.047G
SITE CLASS: D

GENERAL

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR THE PROPER FIT AND CLEARANCE IN THE FIELD, CONTACT EDGE CONSULTING ENGINEERS, INC. IF ANY DISCREPANCIES EXIST.
DO NOT SCALE DRAWINGS.
- THIS DRAWING IS NOT VALID IF LOADS OTHER THAN THOSE CONSIDERED IN THE STRUCTURAL ANALYSIS ARE ADDED TO OR REMOVED FROM THE STRUCTURE UNLESS APPROVED IN WRITING BY EDGE CONSULTING ENGINEERS, INC.
- THE PROPOSED LOADS SHALL NOT BE ADDED TO THE STRUCTURE UNTIL ALL MODIFICATIONS ARE MADE AND APPROVED BY THE WELDING INSPECTOR.
- THE DRAWINGS REPRESENT THE FINISHED STRUCTURE UNLESS NOTED OTHERWISE. THE DRAWINGS DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION PROCEDURES AND PRACTICES.
- THE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS OR EQUIPMENT FOR THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR STRUCTURAL STABILITY DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, ERECTION PROCEDURES AND SEQUENCE, SHORING, BRACING, RIGGING, GUY'S, SCAFFOLDING, FORMWORK, AND OTHER WORK AIDS TO SAFELY PERFORM THE WORK SHOWN ON THE DRAWINGS.
- BEFORE PROCEEDING WITH ANY WORK ADJACENT TO OR WITHIN THE EXISTING STRUCTURE, THE CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS. DURING THE PROCESS OF CONSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE EXISTING STRUCTURE WHERE THE EXISTING STRUCTURE IS MODIFIED TO ACCOMMODATE NEW CONSTRUCTION AND FOR PROTECTING FROM DAMAGE THOSE PORTIONS OF THE EXISTING STRUCTURE WHICH ARE TO REMAIN.
- THE CONTRACTOR SHALL NOT CUT, CORE, DRILL, OR OTHERWISE ALTER THE EXISTING STRUCTURAL ELEMENTS OTHER THAN THE MODIFICATIONS SHOWN ON THE DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL OF EDGE CONSULTING ENGINEERS, INC.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ON-SITE SAFETY ASSOCIATED WITH THE WORK TO BE PERFORMED. ALL SAFETY REQUIREMENTS AS DICTATED BY OSHA AND THE LOCAL JURISDICTIONS SHALL BE FOLLOWED.
- IT SHOULD BE UNDERSTOOD THAT THE CONTRACTOR IS THE GUARANTOR OF ALL WORK AND RESPONSIBLE TO CONSTRUCT THE TOWER SITE ACCORDING TO APPLICABLE PLANS, SPECIFICATIONS AND STANDARDS.
- SECTIONS, DETAILS, AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE, UNLESS OTHERWISE SHOWN.
- ALL MATERIALS, WORKMANSHIP, AND DETAILS SHALL CONFORM TO THE LATEST EDITION OF THE BUILDING CODE.
- ALL PROPOSED INSTALLATIONS SHALL NOT DENY OR INTERFERE WITH AND ACCESS TO ANY OPERATIONAL OR SAFETY EQUIPMENT/APURTENANCES

PROTECTIVE GROUNDING

- TOWER GROUNDING SHALL BE IN ACCORDANCE WITH CHAPTER 10 OF THE TIA-222 REV. G CODE WITH THE FOLLOWING EXCEPTIONS:
- UNO, NO TESTING TO VERIFY FINAL RESISTANCE SHALL BE COMPLETED UNLESS IT IS SPECIFICALLY REQUESTED BY THE CLIENT.
- ALTERNATE GROUNDING METHODS FOR SPECIFIC SITE CONDITIONS DESIGNED IN ACCORDANCE WITH MOTOROLA R56 "STANDARDS AND GUIDELINES FOR COMMUNICATION SITES" MAY BE USED WITH ENGINEER APPROVAL.

WELDING SPECIFICATIONS

- ALL WELDING SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST AWS SPECIFICATIONS BY AWS CERTIFIED WELDERS.
- ALL ELECTRODES SHALL BE LOW HYDROGEN E70XX ELECTRODES, PER AWS D1.1 SPECIFICATIONS UNLESS NOTED OTHERWISE.
- PRE-HEATING SHALL MEET THE MINIMUM TEMPERATURE REQUIREMENTS FOR STEEL GRADE AND THICKNESS IN CONFORMANCE WITH AWS D1.1.
- CONTRACTOR SHALL RETAIN AN AWS CERTIFIED WELD INSPECTOR TO PERFORM VISUAL INSPECTIONS ON ALL FIELD WELDS PER AWS D1.1.
- ALL WELDING OF GALVANIZED MATERIAL SHALL BE PERFORMED IN SUCH A MANNER AS TO SATISFY ALL OSHA AND AWS REQUIREMENTS. ALL FIELD WELDED LOCATIONS SHALL BE PREPARED AND PRIMED WITH A ZINC RICH PRIMER (EXCEPT FOR WATER TOWER APPLICATIONS, SEE WATER TOWER SPECIFICATIONS) PRIOR TO PAINTING PER THE MANUFACTURERS RECOMMENDATIONS. THE SPECIFIC PRIMER TO BE USED SHALL BE TNEMEC SERIES 90-97 Tneme-Zinc @ 3.0-4.0 MILS DFT OR APPROVED EQUAL.
- WELD SMOOTH AND AVOID UNDERCUTS AND BURRS. GRIND ALL WELDS SMOOTH SO THAT NO SHARP PROTRUSIONS REMAIN. SMOOTH IS DEFINED AS: "NO CUTS OR ABRASIONS OCCUR WHEN RUBBING YOUR HAND OVER WELD."

EXISTING STRUCTURE REINFORCEMENT

- MODIFICATIONS TO EXISTING STRUCTURES SHALL BE BASED UPON A RIGOROUS STRUCTURAL ANALYSIS.
- ALL STRUCTURAL MEMBERS/CONNECTIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE DESIGN CRITERIA.
- PRIOR TO IMPLEMENTATION OF THE CHANGED CONDITIONS AND/OR MODIFICATIONS, ITEMS ON THE DESIGN DOCUMENT REQUIRING VERIFICATION SHALL BE RESOLVED.

EARTHWORK

- ALL SUBTERRANEAN STRUCTURES, UTILITIES, PIPING, ETC. IN THE AREA OF EXCAVATIONS SHALL BE LOCATED AND MARKED BY CONTRACTOR PRIOR TO EARTH REMOVAL WORK. CONTRACTOR SHALL MAINTAIN MARKERS UNTIL EXCAVATION ACTIVITIES HAVE CEASED. IF UNDERGROUND UTILITY CONFLICTS ARE DISCOVERED BEFORE OR ENCOUNTERED DURING EXCAVATION, NOTIFY THE ENGINEER IMMEDIATELY.
- BEFORE PLACING FOOTINGS, FOUNDATIONS OR SLAB-ON-GRADE, THE SUB-GRADE SHALL BE PREPARED AND INSPECTED AS REQUIRED.
- WHERE STRUCTURES DERIVE SUPPORT FROM FILL-SUPPORTED FOUNDATIONS AND AT SLAB-ON-GRADE, FILL SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557).
- NO FILL SHALL BE PLACED OVER FROZEN, MUDDY, OR OTHER DELETERIOUS MATERIAL. NO FILL SHALL BE PLACED OVER A PREVIOUS LIFT THAT HAS NOT BEEN ADEQUATELY COMPACTED.
- BACKFILL AGAINST FOUNDATION/ANCHORS SHALL BE COMPLETED BEFORE ERECTION/MODIFICATION OF THE TOWER BEGINS.
- BACKFILL SHALL BE COMPACTED UNIFORMLY AROUND THE FOUNDATION IN LIFTS TO MINIMUM 90% COMPACTION.
- BACKFILL SHALL BE NATIVE SOIL; IMPORTED FILL SHALL BE VERIFIED WITH THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER PRIOR TO BACKFILLING.

CONCRETE & REINFORCING STEEL

MATERIAL PROPERTIES (U.N.O.)
SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE: f_c = 4000 PSI
SPECIFIED YIELD STRENGTH OF CONCRETE REINFORCEMENT: f_y = 60 KSI (A615 GR 60)

- ALL BAR LAPS SHALL CONFORM TO ACI 318 CLASS "B" SPLICE CRITERIA. USE TOP BAR LAP LENGTHS FOR TOP BARS IN SLABS AND BEAMS OVER 14" DEEP.
MINIMUM BAR LAPS AS FOLLOWS U.N.O.:
#3:1'-4" #4:1'-4" #5:1'-0" #6:2'-7" #7:4'-2"
#8:5'-2" #9:6'-4" #10:7'-8" #11:9'-0"
FOR EPOXY COATED BARS, PROVIDE 1.5 TIMES THE INDICATED LAP LENGTH.
FOR TOP BARS PROVIDE 1.3 TIMES THE INDICATED LAP LENGTH.
- LAP LENGTH SHALL BE SPECIFICALLY NOTED ON SHOP DRAWINGS WHERE MORE THAN ONE BAR MAKES UP A CONTINUOUS STRING.
- REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 315.
- ALL REINFORCEMENT BARS SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST CRSI MANUAL OF STANDARD PRACTICE AND SHALL BE CLEAN AND FREE OF GREASE AND SCALING RUST.
- PROVIDE HOT/COLD WEATHER PROCEDURES AND PROTECTION IN ACCORDANCE WITH ACI RECOMMENDATIONS AND PROJECT SPECIFICATIONS.
- CONCRETE REINFORCEMENT PROTECTION/CLEAR COVER, U.N.O.:
FOOTINGS: ALL SIDES 3"
PIERS: ALL SIDES 3"
- EXTEND ALL PIER STEEL TO PROVIDE STD. HOOK UNDER FOOTING REINFORCEMENT, UNLESS NOTED OTHERWISE.
- ALL CONCRETE SHALL BE NORMAL WEIGHT (145 PCF) UNLESS NOTED OTHERWISE. ALL CONCRETE SHALL BE COMPOSED OF PORTLAND CEMENT, TYPE I/II IN CONFORMANCE WITH ASTM C 150, FINE AND COARSE AGGREGATE IN CONFORMANCE WITH ASTM C 33, AND WATER IN CONFORMANCE WITH ASTM C 94. EXPOSED EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 6% AIR CONTENT. CONCRETE SHALL HAVE A MEASURED SLUMP OF 4" (CONTRACTOR SHALL PERFORM SLUMP TESTS). IF AN ALTERNATIVE MIX DESIGN IS DESIRED, MIX DESIGN SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL.
- ALL CONCRETE SHALL BE CONSOLIDATED BY MECHANICAL VIBRATION, SPADING OR RODDING TO ENSURE THAT CONCRETE IS THOROUGHLY AND UNIFORMLY DISTRIBUTED WITHIN FORMWORK AND AROUND REINFORCEMENT AND EMBEDDED ITEMS.
- ALL FORMED CONCRETE SURFACES EXPOSED TO VIEW SHALL HAVE A SURFACE FINISH SF-2.0 IN ACCORDANCE WITH ACI 301.
ACI 318, BUILDING CODE REQUIREMENTS FOR REINFORCED CONC.
ACI 315, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT
ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BLDGS.
ACI 307, RECOMMENDED PRACTICE FOR CONCRETE FORM WORK
- ALUMINUM CONDUIT IS NOT PERMITTED TO BE EMBEDDED IN CONCRETE.
- ALL DOWELS INTO EXISTING CONCRETE OR SOLID MASONRY TO BE EPOXY ANCHORED WITH HILTI HITHY200 ADHESIVE OR APPROVED EQUIVALENT, (UNLESS NOTED OTHERWISE)
- UNLESS NOTED OTHERWISE, ANY EXISTING CONCRETE SURFACE IS TO BE CLEANED AND INTENTIONALLY ROUGHED TO A 1/4" AMPLITUDE AND WETTED PRIOR TO FRESH CONCRETE BEING POURED AGAINST SURFACE.

WATER TOWER SPECIFICATIONS

WELDING NOTES:

- ALL WELDING TO THE TANK STRUCTURE SHALL COMPLY WITH THE CURRENT ANSI/AWWA D100 STANDARD FOR WELDED STEEL TANKS FOR WATER STORAGE AND FEDERAL, STATE AND LOCAL CODES IN ADDITION TO AWS D1.1, STRUCTURAL WELDING CODE - STEEL.
- NO WELDING SHALL BE DONE WHEN THE AMBIENT TEMPERATURE IS BELOW 32 DEGREES FAHRENHEIT UNLESS THE REQUIREMENTS OF AWWA D100, SEC 10.2.1 ARE MET.
- WELDING TO THE TANK OR ACCESS TUBE OPPOSITE THE WATER LEVEL IS NOT PERMITTED. THE WATER LEVEL SHALL BE DRAWN DOWN TO A LEVEL TWO FEET BELOW THE POINT OF WELDING.
- WELDING MAY CAUSE BUSTERING OF THE INTERIOR PAINT OPPOSITE THE WELD. ALL DAMAGED PAINT SURFACES INSIDE AND OUT SHALL BE REPAIRED. EXTERIOR PAINT DAMAGE SHALL BE REPAIRED AFTER COMPLETION OF THE ANTENNA INSTALLATION. CONTRACTOR IS TO COORDINATE WITH TOWER OWNER ON EXISTING PAINT SYSTEM, REPAIRS TO COMPLY WITH COATING SYSTEM MANUFACTURER'S RECOMMENDED PROCEDURES.
- PROTECT TANK SURFACES WITH WELDING BLANKETS ADJACENT TO WORK AREAS WHERE CUTTING, GRINDING AND WELDING ARE REQ'D.
- GALVANIZED COMPONENTS SHALL NOT BE WELDED DIRECTLY TO THE TANK SURFACE. OTHER GALVANIZED SURFACES SHALL BE GROUND FREE OF GALVANIZING BEFORE WELDING.
- UNACCEPTABLE WELDS SHALL BE REPAIRED AS REQUIRED TO MEET AWWA D100 REQUIREMENTS.

PENETRATION NOTES:

- ALL PIPE PENETRATIONS MUST CLEAR EXISTING TANK WELD SEAMS BY AT LEAST 6" (VERTICAL & HORIZONTAL).
- TANK WATER LEVEL MUST BE LOWERED TO 50% OF MAXIMUM CAPACITY AND STIFFENERS ADDED BEFORE OPENINGS ARE CUT. WATER LEVEL REDUCTION TO BE SCHEDULED AT MUNICIPALITY'S CONVENIENCE TO MATCH WATER DEMAND. PROVIDE 2 DAYS MINIMUM NOTICE TO MUNICIPALITY.
- CUT AND WELD PIPE SLEEVE IN PLACE COMPLETELY BEFORE REPEATING FOR ADDITIONAL SLEEVES.

PAINTING SPECIFICATIONS:

- VERIFY PAINTING SPECIFICATIONS AND REQUIREMENTS WITH TANK OWNER. TOUCHUP PAINTING WILL BE REQUIRED AFTER INSTALLATION IS COMPLETED.
- (PI) POST INSPECTION AND TOUCHUP PAINTING WILL BE APPLICABLE IF UTILITY SERVICE RECOMMENDATIONS ARE SUPPORTED AND APPROVED BY THE TANK OWNER. IF APPLICABLE, VERIZON WIRELESS SHOULD CONTACT UTILITY SERVICE GROUP, MS. JESSICA MORRISON FOR PROPOSAL PRICING FOR ALL TOUCHUP PAINTING.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING AND TEMP COATING ALL EXTERIOR WELDED OR DAMAGED COATING SURFACES.
A. CLEAN ALL WELDS OR DAMAGED COATING SURFACES TO SSPC-SP11 "POWER TOOL CLEANING TO BARE METAL" AND FEATHER BACK THE EDGES.
B. APPLY ONE SPOT PRIME COAT WITH REQUIRED PRIMER AT 4-5 MILS DFT PER COAT. IF TEMPERATURES ARE EXPECTED TO BE BELOW 50 DEGREES SUBSTITUTE WITH COLD GALVANIZED SPRAY.
- CONTRACTOR SHALL ALSO PRIME AND PAINT ALL EXTERIOR RAILINGS AND PENETRATIONS TO EXTERIOR SURFACE PAINTING SPEC. TOWER OWNER TO BE CONTACTED TO DETERMINE IF ANTENNA MOUNTS AND MAST PIPS ARE REQUIRED TO BE PAINTED.
- EXTERIOR SURFACE PAINTING REQUIREMENTS:
A. EXTERIOR SURFACES TO BE PAINTED SHALL BE CLEANED TO SSPC-SP11 "POWER TOOL CLEANING TO BARE METAL" AND FEATHER BACK THE EDGES.
B. THE EXTERIOR SURFACE PAINT SYSTEM SHALL BE TWO PRIME COAT OF REQUIRED PRIMER AT 4-6 MILS DFT PER COAT AND ONE FINISH COAT OF PAINT TO 3 MILS DFT.
C. THE THREE-COAT SYSTEM SHALL BE APPLIED AT 3.0 - 6.0 MILS PER COAT, TO AN OVERALL THICKNESS OF 11.0 - 15.0 MILS.
D. ALL PAINTED SURFACES ARE TO BE PREPARED PER MANUFACTURERS RECOMMENDATIONS.
E. EXTERIOR FINISH COLOR: PER TOWER OWNER.
- INTERIOR WET PAINTING REQUIREMENTS:
A. INTERIOR WET SURFACES TO BE PAINTED SHALL BE CLEANED TO SSPC-SP11 "POWER TOOL CLEANING TO BARE METAL" AND FEATHER BACK THE EDGES.
B. THE INTERIOR WET SURFACE PAINT SYSTEM SHALL BE PER REQUIRED FINISH AT 16 - 20 MILS DFT.
- COORDINATE PAINTING SCHEDULE WITH TOWER OWNER, IF APPLICABLE. PAINT ALL THE NEW STEEL IN A SHOP SETTING, PRIOR TO DELIVERY TO THE SITE.
- FOLLOW ALL PAINT MANUFACTURERS' RECOMMENDATIONS WHEN USING THEIR PRODUCTS. CONTACT PAINT MANUFACTURER TO OBTAIN SUITABLE SURFACE PREPARATION SYSTEM FOR PROPOSED SURFACE.

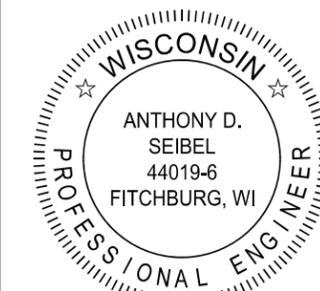
SHEET INDEX

NO:	SHEET TITLE
A-5	STRUCTURAL NOTES **
A-6	ANTENNA/ EQUIPMENT MOUNTING **
A-7	TOWER SECTIONS **
A-8	CUSTOM ANTENNA FRAME DETAILS**
A-9	WT ANCHORAGE MOD**
** REVIEWED AND APPROVED BY STRUCTURAL ENGINEER	

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS/CONDITIONS ON SITE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME.

STRUCTURAL ENGINEER OF RECORD

STRUCTURAL ENGINEER SEAL:



I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

Signature:

Date:

Anthony Seibel
11/12/2019

Edge Consulting Engineers, Inc.
624 Water Street
Profile du Soc. WI 53578
608.644.1449 vo/pe
608.644.1519 fax
www.edgeconsulting.com

STRUCTURAL SPECIFICATIONS
WHALEN [458621]
VERONA, WISCONSIN

SHEET TITLE:

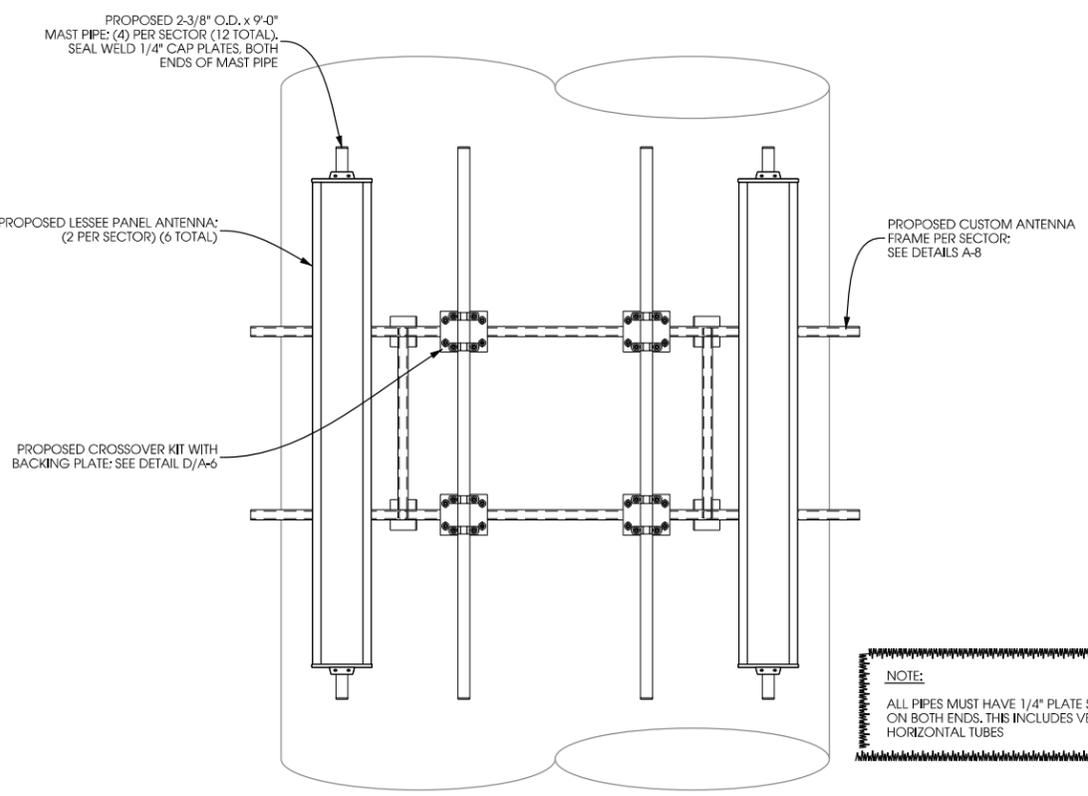
PRELIMINARY DWGS:	INT:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV
CHECKED BY:	PCM
PLOT DATE:	11/11/2019
PROJECT #:	20090
FILE NAME:	A-5.dgn
SHEET NUMBER:	A-5

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ANTENNA/EQUIP. MOUNTING
WHALEN [458621]
VERONA, WISCONSIN

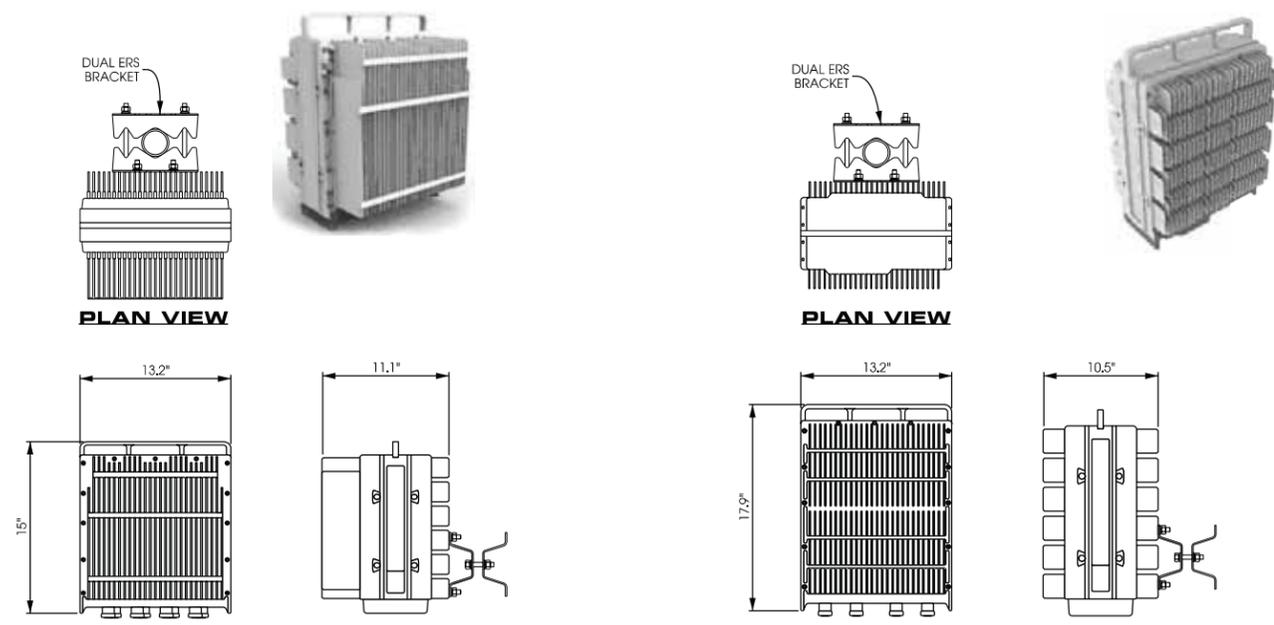
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CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV
CHECKED BY:	
PCM	
PLOT DATE:	
11/11/2019	
PROJECT #:	
20090	
FILE NAME:	
A-6.dgn	



A ANTENNA/EQUIPMENT MOUNTING
 SCALE: NTS

NOTE:
 ALL PIPES MUST HAVE 1/4\"/>

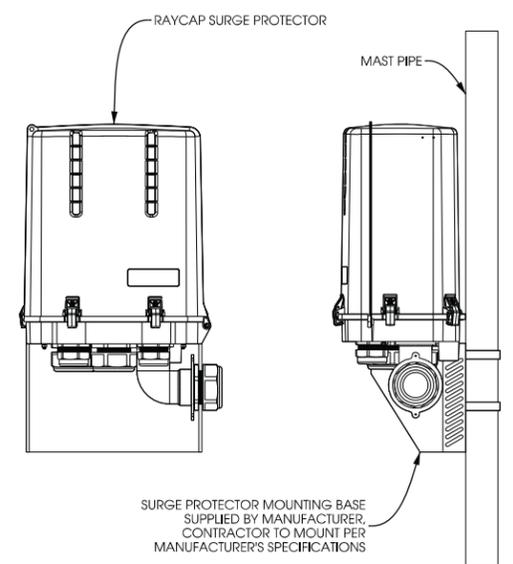


REMOTE RADIO UNIT -
 ERICSSON PART # RRU8843
 DIMENSIONS: 15\"/>

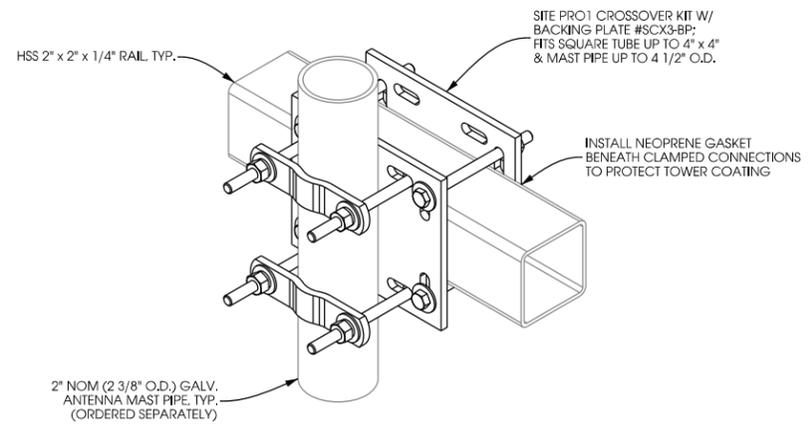
REMOTE RADIO UNIT -
 ERICSSON PART # RRU4449
 DIMENSIONS: 17.9\"/>

B REMOTE RADIO UNITS
 SCALE: NTS

DISTRIBUTION SURGE PROTECTOR:
 RAYCAP PART # RC3DC-3315-PF-48
 DC SURGE PROTECTION FOR RRH/INTEGRATED ANTENNA RADIO HEAD
 TOWER, BASE, ROOFTOP, & ROOFTOP DISTRIBUTION MODELS
 DIMENSIONS: 19.18\"/>



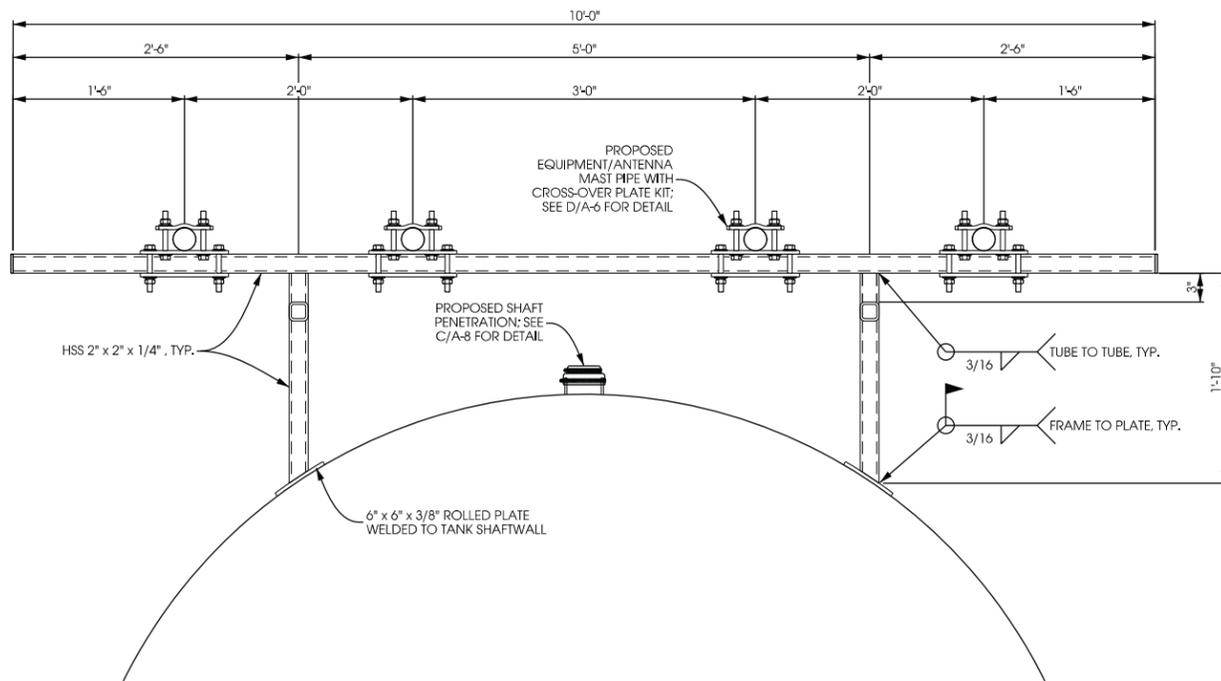
C DISTRIBUTION SURGE PROTECTOR
 SCALE: NTS



D CROSSOVER KIT W/ BACKING PLATE
 SCALE: NTS

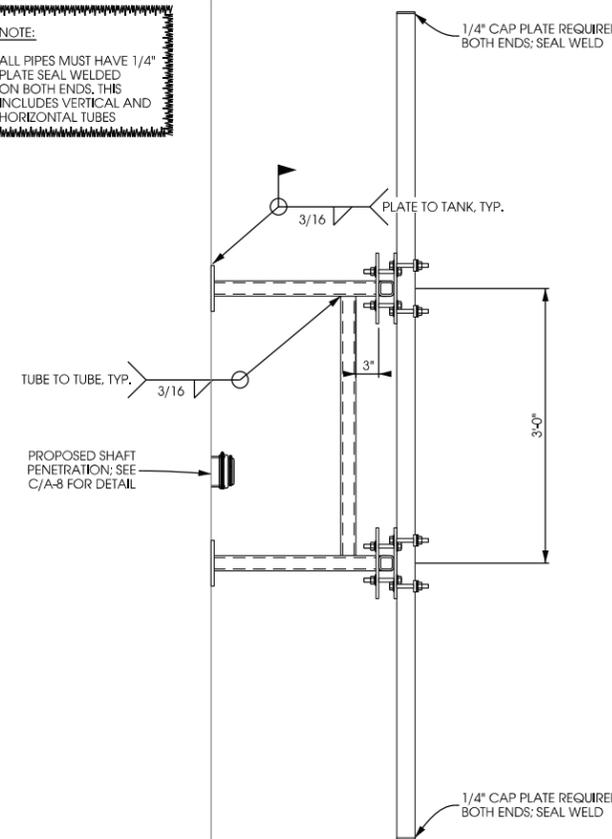
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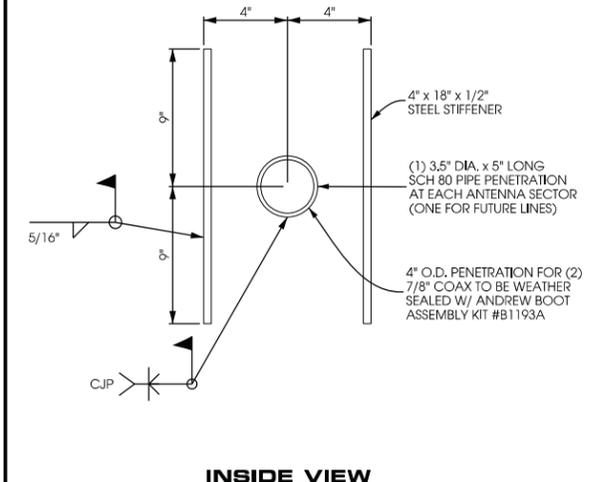


A CUSTOM ANTENNA FRAME (PLAN VIEW)
11x17 - NTS
22x34 - NTS

NOTE:
ALL PIPES MUST HAVE 1/4" PLATE SEAL WELDED ON BOTH ENDS, THIS INCLUDES VERTICAL AND HORIZONTAL TUBES

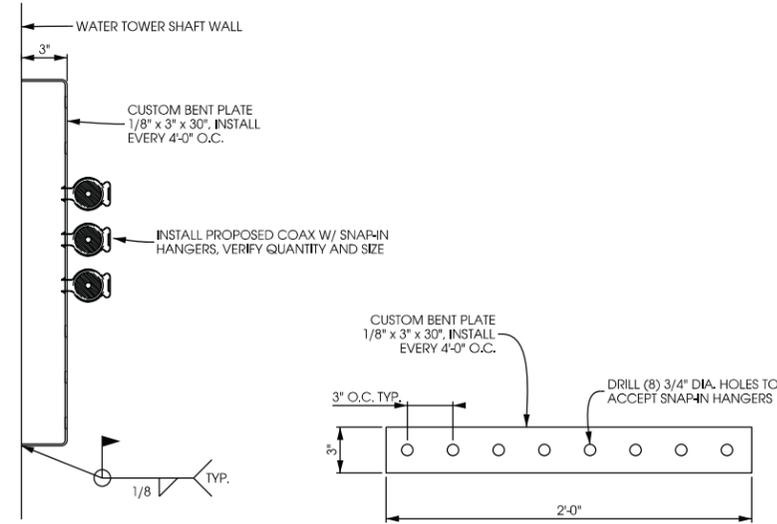


B CUSTOM ANTENNA FRAME
11x17 - NTS
22x34 - NTS

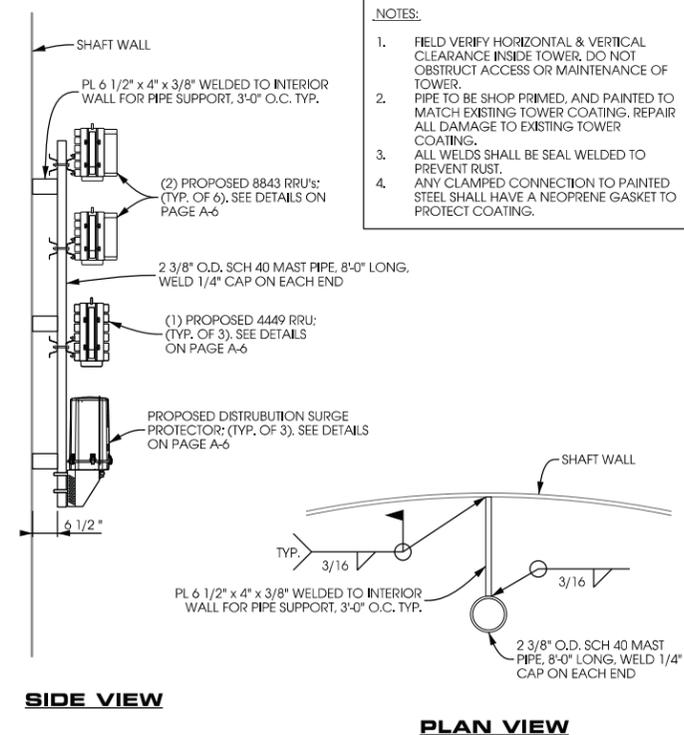


C SHAFT PENETRATION
11x17 - NTS
22x34 - NTS

NOTES
- ALL PIPE PENETRATIONS MUST BE MIN. OF 6" AWAY FROM EXISTING TANK SEAMS (VERT. & HORZ.)
- WELD STIFFENERS FIRST, CUT AND WELD PENETRATION
- ALL PENETRATIONS MUST BE SEAL WELDED INSIDE AND OUTSIDE STEM/ SHAFT



D BENT PLATE DETAIL
SCALE: 11 x 17 - 1" = 1'-0"
22 x 34 - 1" = 0'-6"



E EQUIP. MOUNTING PIPE DETAIL
11x17 - NTS
22x34 - NTS

NOTES:
1. FIELD VERIFY HORIZONTAL & VERTICAL CLEARANCE INSIDE TOWER. DO NOT OBSTRUCT ACCESS OR MAINTENANCE OF TOWER.
2. PIPE TO BE SHOP PRIMED, AND PAINTED TO MATCH EXISTING TOWER COATING. REPAIR ALL DAMAGE TO EXISTING TOWER COATING.
3. ALL WELDS SHALL BE SEAL WELDED TO PREVENT RUST.
4. ANY CLAMPED CONNECTION TO PAINTED STEEL SHALL HAVE A NEOPRENE GASKET TO PROTECT COATING.

GENERAL PAINTING INSTRUCTIONS:

SHOP PAINTING: ABRASIVE BLAST CLEAN ALL NEW STEEL TO COMMERCIAL GRADE (SSPC-SP6) CONDITION AND APPLY A THREE COAT EPOXY/ URETHANE SYSTEM AS FOLLOWS:

COAT	TNEMEC SERIES	MINIMUM DFT	MAXIMUM DFT
PRIMER	N27	2.0	3.0
INTERMEDIATE	N27	2.0	3.0
TOP COAT*	74	2.0	3.0

1. EDGES TO BE WELDED IN THE FIELD SHALL NOT BE COATED (LEAVE A MINIMUM OF TWO INCHES BARE METAL)

2. **FIELD PAINTING:** EXTERIOR - SOLVENT CLEAN, SPOT POWER TOOL CLEAN ALL ABRADED AND WELDED AREAS TO A SSPC-SP11 GRAY METAL CONDITION AND SPOT COAT IN ACCORDANCE WITH COATINGS AS SPECIFIED ABOVE.

3. **PREPARATION OF GALVANIZED MATERIAL:** APPLY ONE COAT OF CLEAN 'N' ETCH AS PER MANUFACTURER'S RECOMMENDATIONS.

COAT	TNEMEC SERIES	MINIMUM DFT	MAXIMUM DFT
PRIMER	66 H-BUILD EPOXOLINE	2.0	3.0
TOP COAT*	1074 ENDURA-SHIELD	2.0	3.0
TOTAL		4.0	6.0

4. **PREPARATION OF ALL MISCELLANEOUS ANTENNA EQUIPMENT:** (ANTENNAS, COAX, MOUNTING BRACKETS)

COAT	TNEMEC SERIES	MINIMUM DFT	MAXIMUM DFT
PRIMER	135 CHEMBUILD EPOXY	3.0	4.0
TOP COAT*	1074 ENDURA-SHIELD	1.5	2.5
TOTAL		4.0	6.0

*TOP COAT COLOR TO MATCH EXISTING COLOR. (SEE TANK OWNER FOR RECORDS)

5. APPLY ALL COATINGS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

STEEL SPECIFICATIONS:
ALL STEEL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

HSS:	ASTM A500 Gr. B
PIPE:	ASTM A53 Gr. B
PLATES:	ASTM A36

PENETRATION WELDING NOTES:

- ALL WELDING TO WATER TANK SHALL BE IN ACCORDANCE W/ AWWA D100 BY APPROPRIETLY CERTIFIED WELDER
- ALL PIPE PENETRATIONS MUST CLEAR EXISTING TANK WELD SEAMS BY AT LEAST 6" (VERT. & HORZ.).
- ALL PENETRATIONS MUST BE SEAL WELDED INSIDE AND OUTSIDE STEM/ SHAFT
- WATER LEVEL MUST BE LOWERED TO 50% OF MAXIMUM CAPACITY AND STIFFENERS ADDED BEFORE OPENINGS ARE CUT. WATER LEVEL REDUCTION TO BE SCHEDULED AT MUNICIPALITY'S CONVENIENCE TO MATCH WATER DEMAND.
- WELD STIFFENER PLATES BEFORE ANY PENETRATIONS
- CUT SLEEVE HOLE #1 AND WELD PIPE SLEEVE IN PLACE, CUT HOLE #2 AND WELD PIPE SLEEVE IN PLACE AND THEN REPEAT FOR ADDITIONAL HOLES
- IF PENETRATIONS ARE PERFORMED DURING FREEZING CONDITIONS, CHECK TANK FOR ICE BUILD-UP PRIOR TO DE-PLATING, AVOID FALLING ICE DAMAGE.

CUSTOM ANTENNA FRAME DETAILS
WHALEN [458621]
VERONA, WISCONSIN

SHEET TITLE:

REVISION	DATE	BY	APP'D
PRELIMINARY DWGS			
CD 90s REV1 - 10/18/18		CV	
CD 90s REV2 - 01/21/19		AGJ	
CD 90s REV3 - 04/22/19		JAH	
CD 90s REV4 - 08/08/19		CV	
STAMPED PERMIT DWGS:			
STAMPED FINAL DWGS:			
FINAL CD REV1 - 10/01/19		CV	
FINAL CD REV2 - 11/12/19		CV	

CHECKED BY: PCM
PLOT DATE: 11/11/2019
PROJECT #: 20090
FILE NAME: A-8.dgn
SHEET NUMBER: **A-8**



UTILITY PROVIDER INFO:

ELECTRIC PROVIDER: ALLIANT ENERGY
JEFF NELSON
800.255.4268
jeffnelson@alliantenergy.com

FIBER OPTIC PROVIDER: ONE FIBER
BONNIE S. BEACH
bonnie.s.beach@one.verizon.com

POWER NOTE:

- ALLIANT TO INSPECT METER AND ONCE INSPECTION IS COMPLETED, ALLIANT WILL POWER METER

(2) 4" DIA. SCH. 40 PVC CONDUITS W/ (2) 1-1/4" INNER DUCTS FOR VZW FIBER OPTIC LINE; TO BE INSTALLED BY VZW CONTRACTOR; APPROX. 32± FROM PROPOSED FIBER VAULT TO SHELTER PENETRATION

(1) PROPOSED 3" DIA. SCH. 40 PVC ELECTRICAL CONDUIT W/ (3) 4/0 UNDERGROUND & (1) #2 GROUND SECONDARY ELECTRIC SERVICE 42" BELOW GRADE (MIN.); APPROX. 85' +/- FROM EXISTING UTILITY RACK TO EQUIPMENT SHELTER BY VZW CONTRACTOR

PROPOSED VZW FIBER VAULT. FURNISHED & INSTALLED BY VZW CONTRACTOR. SEE DETAIL A/E-1

EXISTING OTHER CARRIER SHELTER

APPROX. LOCATION OF EXISTING BURIED CONDUIT

EXISTING OTHER CARRIER FIBER VAULT & FIBER CONDUIT

APPROX. LOCATION OF EXISTING BURIED CONDUITS

EXISTING 175' WATER TOWER

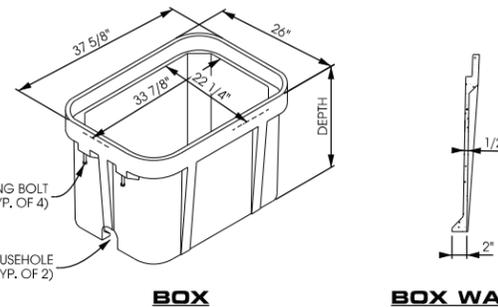
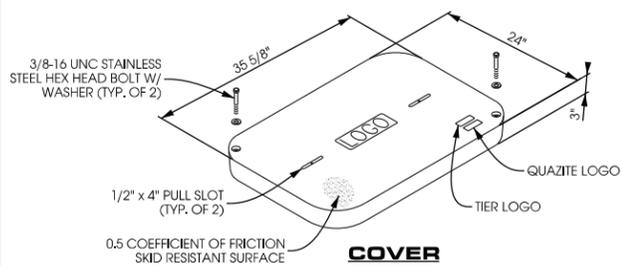
ACCESS DOOR

PROPOSED VZW FIBER VAULT AT TURN. FURNISHED & INSTALLED BY VZW CONTRACTOR. SEE DETAIL A/E-1

PROPOSED VZW FIBER VAULT AT TURN. FURNISHED & INSTALLED BY VZW CONTRACTOR. SEE DETAIL A/E-1

SPLICE / PULL BOX NOTES:

PG STYLE POLYMER CONCRETE (STACKABLE) ASSEMBLY
FOR SPLICE BOX LOCATIONS USE 24" x 36" x 36" DEEP BOX QUAZITE PART # PG2436BA36 OR APPROVED EQUIVALENT
FOR PULL BOX LOCATIONS USE 24" x 36" x 24" DEEP BOX QUAZITE PART # PG2436BA24 OR APPROVED EQUIVALENT
FOR COVERS FOR BOTH SPLICE AND PULL BOX LOCATIONS USE QUAZITE PART # PG2436KK00 OR APPROVED EQUIVALENT



SPLICE/PULL BOX DETAIL

SCALE: NTS



PROPOSED VZW 22' x 32' LEASE AREA

PROPOSED VZW 11'-6" x 21'-9-1/2" EQUIPMENT SHELTER

GENERATOR ROOM

ELECT. SERVICE ENTRANCE

EQUIPMENT ROOM

EXISTING BURIED UTILITIES

EXISTING TOWER DRIP EDGE

EXISTING BURIED UTILITIES

EXISTING DOGHOUSES

OVERFLOW PIPE

EXISTING BURIED UTILITIES

EXISTING MULTI-METER UTILITY RACK WITH (1) OPEN METER SLOT TO BE UTILIZED BY VZW

EXISTING TELCO PEDESTAL

EXISTING TRANSFORMER

EXISTING HYDRANT & BURIED WATER MAIN

(2) ORANGE 4" DIA. HDPE, SDR 13.5 SMOOTH WALL CONTINUOUS CONDUITS W/ (2) 1-1/4" INNER DUCTS FOR FIBER OPTIC LINE PER CONDUIT; TO BE FURNISHED AND INSTALLED BY VZW CONTRACTOR; APPROX. 410± FROM RIGHT OF WAY TO PROPOSED FIBER VAULT AT SHELTER

C/L OF PROPOSED VZW 20' WIDE ACCESS & UTILITY EASEMENT

C/L OF PROPOSED VZW 20' WIDE ACCESS & UTILITY EASEMENT

PROPERTY LINE

**UTILITY PLAN
WHALEN [458621]
VERONA, WISCONSIN**

Edge Consulting Engineers, Inc.
624 Water Street
Profile du Soc. WI 53578
608.644.1449 vo/pe
608.644.1519 fax
www.edgeconsulting.com

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGU
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV

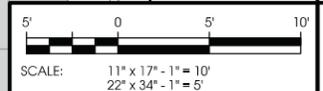
STAMPED PERMIT DWGS:

STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV

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PCM
PLOT DATE:
11/11/2019
PROJECT #:
20090
FILE NAME:
E-1.dgn

SHEET NUMBER:

E-1



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LEGEND

- INSPECTION WELL
- 5/8" DIA. x 10'-0" LONG, STEEL CLAD W/ A PURE COPPER JACKET (10' MAX SEPARATION)
- EXOTHERMIC CONNECTION (CADWELD OR EQUIVALENT)
- MECHANICAL CONNECTION (BURNDY OR EQUIVALENT)
- #2 SOLID BARE TINNED COPPER GROUND LEAD



NOTE:
- TOP OF EACH GROUND ROD SHALL EXTEND NO MORE THAN 6" ABOVE BOTTOM OF TRENCH

NOTE:
ANY CONDUCTIVE UTILITY JUNCTION BOX OR ENCLOSURE SHALL BE BONDED TO THE EARTH GROUND SYSTEM W/ A #2 SOLID BARE TINNED COPPER GROUND LEAD

GROUNDING NOTE:

THIS GROUNDING PLAN WAS PREPARED PRIOR TO THE COMPLETION OF THE GEOTECHNICAL REPORT AND RECEIPT OF THE TOWER FOUNDATION DESIGN. THE LAYOUT OF RADIALS AND GROUND RODS ARE APPROXIMATE IN NATURE AND MAY NEED TO BE ADJUSTED IN THE FIELD. GROUND RODS SHOULD NOT EXTEND THROUGH THE TOWER FOUNDATION OR OTHER STRUCTURAL ELEMENTS WITHOUT PRIOR APPROVAL FROM THE DESIGN ENGINEER. IN ADDITION, SOME ADJUSTMENT TO THE GROUND METHOD MAY BE REQUIRED IN INSTANCES WHERE SHALLOW BEDROCK OR OTHER UNIQUE CIRCUMSTANCES ARE ENCOUNTERED. CONTRACTOR SHALL CONSULT GEOTECHNICAL REPORT FOR FURTHER DESIGN AND CONSTRUCTION RECOMMENDATIONS.

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 www.edgeconsulting.com

**GROUNDING PLAN
 WHALEN [458621]
 VERONA, WISCONSIN**

KEYED GROUNDING NOTES:

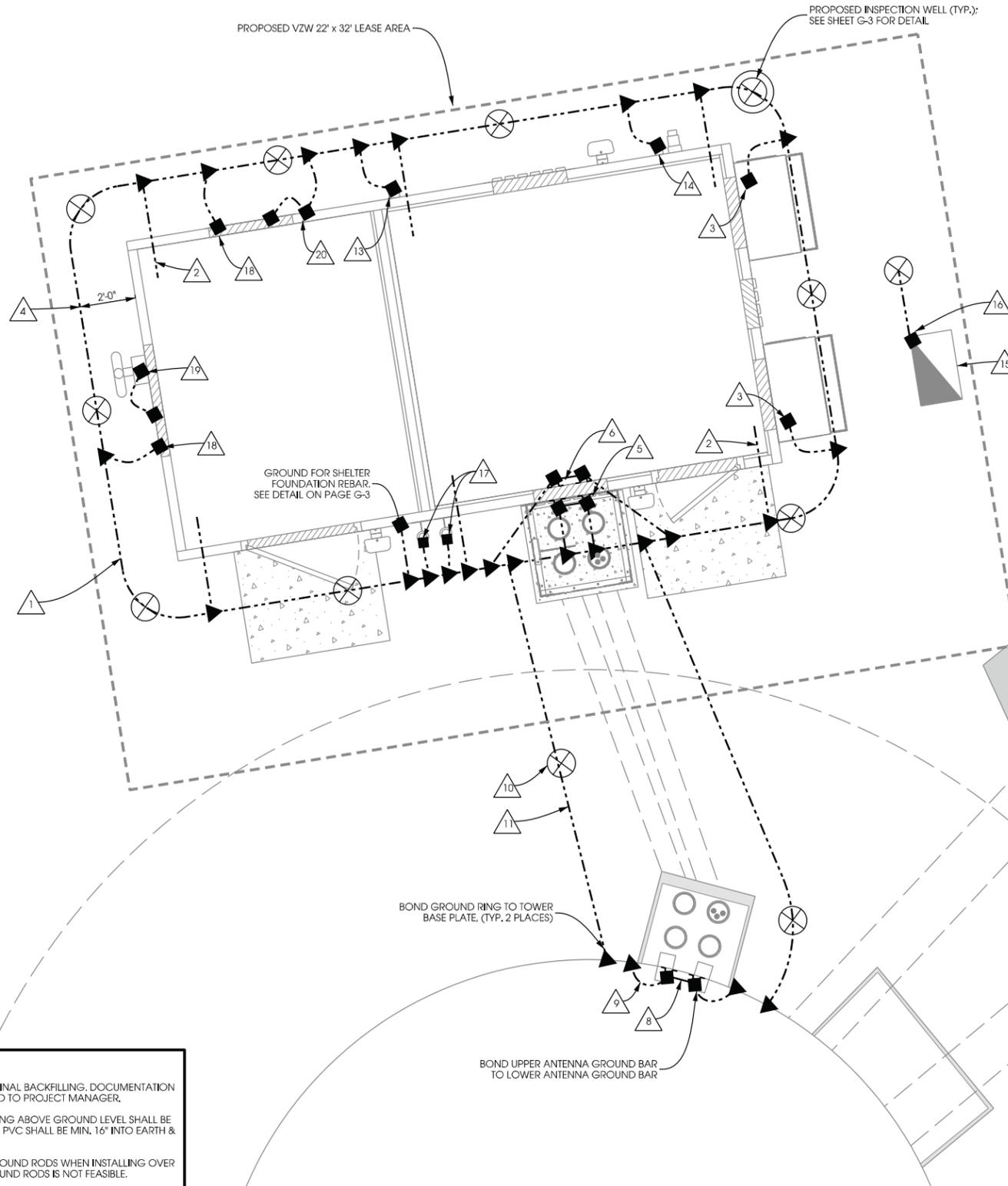
- 1 EQUIPMENT BUILDING GROUND RING, #2 SOLID BARE-TINNED COPPER GROUND LEAD MIN. 4'-6" BURY (TYP.) OR 6" BELOW FROST WHICH EVER IS GREATER. GROUND RODS SPACED @ 8' O.C.
- 2 BUILDING GROUND LEAD IN 1/2" DIAMETER PVC CONDUIT. SEE DETAILS ON PAGE G-4
- 3 HVAC GROUNDING, GROUND WITH MECHANICAL CLAMP (DUAL CRIMP COMPRESSION)
- 4 MAINTAIN 2-FOOT CLEARANCE FROM ALL STRUCTURES
- 5 EXTERIOR GROUND BAR BY BUILDING MANUFACTURER CONTRACTOR TO EXTEND (2) 2" SOLID BARE TINNED COPPER GROUND LEADS FROM GROUND BAR AND CADWELD TO GROUND RING
- 6 INTERIOR MASTER GROUND BAR BY BUILDING MANUFACTURER CONTRACTOR TO EXTEND (2) 2" SOLID BARE TINNED COPPER GROUND LEADS THROUGH BUILDING WALL @ 45 ANGLE AND CADWELD TO EQUIPMENT BUILDING GROUND RING
- 7 GROUND ICE BRIDGE POSTS WITH #2 SOLID BARE TINNED COPPER GROUND LEADS
- 8 4" x 20" x 1/4" COPPER GROUND BAR, NON-ISOLATED WITH (2) #2 SOLID BARE TINNED COPPER GROUND LEADS TO GROUND RING, LOWER TOWER GROUND BAR
- 9 GROUND COAX CABLES TO LOWER ANTENNA GROUND BAR. GROUND ANTENNA GROUND BAR TO TOWER STEEL
- 10 5/8" DIAMETER x 10'-0" LONG COPPER CLAD GROUND ROD WITH EXOTHERMIC CONNECTION, 8' SPACING, TYP.
- 11 BOND TOWER GROUND RING TO THE PROPOSED EQUIPMENT GROUND RING WITH (2) #2 SOLID BARE TINNED COPPER GROUND LEADS, EXOTHERMIC CONNECTION
- 12 EXISTING TOWER GROUND RING
- 13 GROUND TELCO/FIBER OPTIC SERVICE ENTRANCE. SEE DETAILS ON PAGE G-4
- 14 ELECTRIC SERVICE GROUNDING; COORDINATE ALTERNATE WITH PROJECT MANAGER. SEE DETAILS ON PAGE G-4
- 15 FIBER OPTIC HAND HOLE
- 16 4" x 12" x 1/4" GROUND BAR INSIDE HAND HOLE; CONTRACTOR TO DRIVE 10' GROUND ROD & CLAMP TO GROUND BAR
- 17 GROUND GPS; SEE PAGE A-4 FOR DETAIL
- 18 #2 SOLID BARE TINNED COPPER GROUND LEAD TO EXHAUST VENT
- 19 #2 SOLID BARE TINNED COPPER GROUND LEAD FROM EXHAUST MUFFLER TO EXHAUST VENT
- 20 #2 SOLID BARE TINNED COPPER GROUND LEAD FROM FILLER PIPE TO EQUIPMENT SHELTER GROUND RING

GROUNDING ELECTRODE SYSTEM NOTES:

- 1. CONNECTIONS:
ALL CONNECTIONS SHALL BE EXOTHERMICALLY CONNECTED UNLESS NOTED OTHERWISE. CONTRACTOR TO FOLLOW ALL MANUFACTURER'S GUIDELINES & RECOMMENDATIONS.
- 2. ALL ELECTRICAL AND MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTI-OXIDANT COMPOUND APPLIED TO CONNECTION.
- 3. FENCE/GATE:
GROUND FENCE POSTS WITHIN 6-FEET OF ENCLOSURE AND 25-FEET OF TOWER. GROUND EACH GATE POST AND CORNER POST. GROUND CONNECTIONS TO FENCE POSTS SHALL BE MADE BY THE EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
- 4. CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
A. ONE (1) COPY TO THE OWNER REPRESENTATIVE
B. ONE (1) COPY TO THE ENGINEER
C. ONE (1) COPY TO KEEP INSIDE EQUIPMENT ENCLOSURE

NOTE:

- THE GROUNDING SHALL BE TESTED PRIOR TO FINAL BACKFILLING. DOCUMENTATION OF 5 OHM OR LESS RESISTANCE TO BE PROVIDED TO PROJECT MANAGER.
- ALL NON-INSULATED GROUND LEADS EXTENDING ABOVE GROUND LEVEL SHALL BE ENCASED IN 3/4" PVC & SEALED WITH SILICONE. PVC SHALL BE MIN. 16" INTO EARTH & EXTEND MIN. 6" ABOVE GROUND.
- INSTALL 18" X 18" COPPER PLATES IN LIEU OF GROUND RODS WHEN INSTALLING OVER TOWER FOUNDATION OR WHERE DRIVING GROUND RODS IS NOT FEASIBLE.



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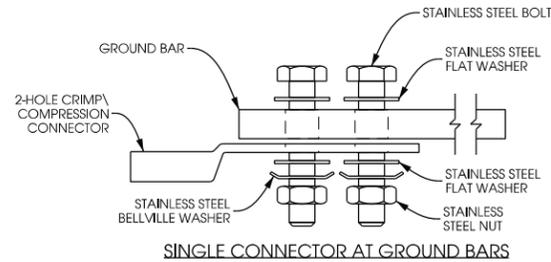
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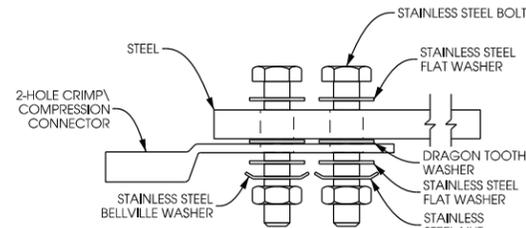
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FINAL CD REV2 - 11/12/19	CV

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PLOT DATE: 11/11/2019
PROJECT #: 20090
FILE NAME: G-1.dgn

SHEET NUMBER:
G-1

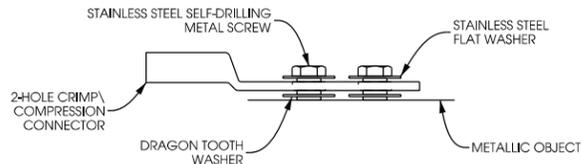


SINGLE CONNECTOR AT GROUND BARS



SINGLE CONNECTOR AT STEEL OBJECTS

- NOTES**
- ALL OUTDOOR HARDWARE (BOLTS, SCREWS, NUTS, WASHERS) SHALL BE 18-8 STAINLESS STEEL TYPE GRADE. INDOORS, GRADE 5 STEEL HARDWARE MAY BE USED.
 - CHOOSE BOLT LENGTH TO ALLOW THE EXPOSURE OF AT LEAST TWO THREADS.
 - BACK TO BACK LUG CONNECTIONS ARE AN ACCEPTABLE PRACTICE WHEN BONDED TO A GROUND BAR OR STEEL OBJECTS.
 - AT CONNECTIONS MADE TO STEEL OR ANY OTHER DISSIMILAR METALS, A DRAGON TOOTH WASHER MEETING VZW PRACTICES SHALL BE USED BETWEEN THE CONNECTOR AND STEEL.
 - IF NOT USING DRAGON TOOTH WASHERS, THOROUGHLY REMOVE A SECTION OF PAINT OR COATING APPROXIMATELY THE SAME SIZE AS CONNECTOR. REMOVE THE PAINT FROM SURFACE USING A DREMEL TYPE TOOL.
 - USE AN APPROVED ANTI-OXIDATION COMPOUND ON ALL GROUNDING CONNECTIONS. A COPPER COSMOLINE GREASE BASED COMPOUND (NO OXID) SHALL BE USED ON ALL COPPER TO COPPER CONNECTIONS. A ZINC BASED (GREY COLORED) COMPOUND SHALL BE USED ON ALL COPPER TO STEEL CONNECTIONS.
 - WHEN BONDING TO A METALLIC OBJECT WHERE ACCESS IS LIMITED TO ONLY ONE SURFACE, DRILLING & TAPPING OR SELF DRILLING SCREWS ARE THE PREFERRED AND ACCEPTABLE MEANS OF CONNECTION. SHEET METAL SCREWS SHALL NOT BE USED.

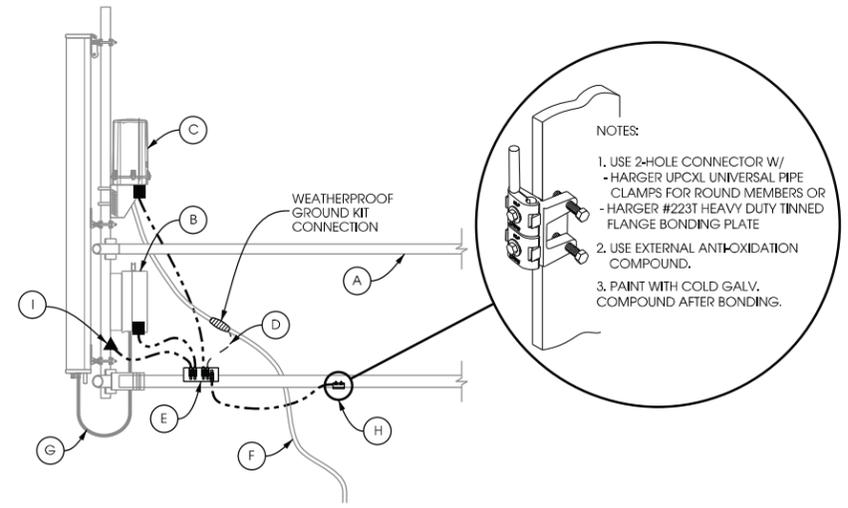


SINGLE CONNECTOR AT METALLIC/STEEL OBJECTS

A LUG DETAIL
SCALE: NTS

KEYED GROUNDING NOTES:

- (A) PROPOSED RAILING
 - (B) REMOTE RADIO UNIT: GROUND WITH #2 STRANDED INSULATED GROUND LEAD
 - (C) DISTRIBUTION SURGE PROTECTOR: GROUND WITH #2 STRANDED INSULATED GROUND LEAD
 - (D) # 6 INSULATED TINNED COPPER CABLE GROUND KITS TO GROUND BAR; COMMSCOPE PART # UG12158-1584T OR APPROVED EQUIVELANT
 - (E) UPPER ANTENNA GROUND BAR; MOUNT GROUND BAR DIRECTLY TO PROPOSED RAILING
 - (F) CABLE, MAINTAIN MINIMUM BEND RADIUS
 - (G) JUMPER, MAINTAIN MINIMUM BEND RADIUS
 - (H) CLAMP #2 STRANDED INSULATED COPPER GROUND LEAD TO TOWER RAILING W/ HARGERS HEAVY DUTY TINNED FLANGE BONDING PLANT(P/N# 223T), OR APPROVED EQUIVALENT
 - (I) CADWELD #2 STRANDED INSULATED COPPER GROUND LEAD TO ANTENNA MAST PIPE
- **ALL GROUND LEADS TO BE ROUTED IN A DOWNWARD FASHION.



B ANTENNA LEVEL GROUNDING DETAILS
SCALE: NTS

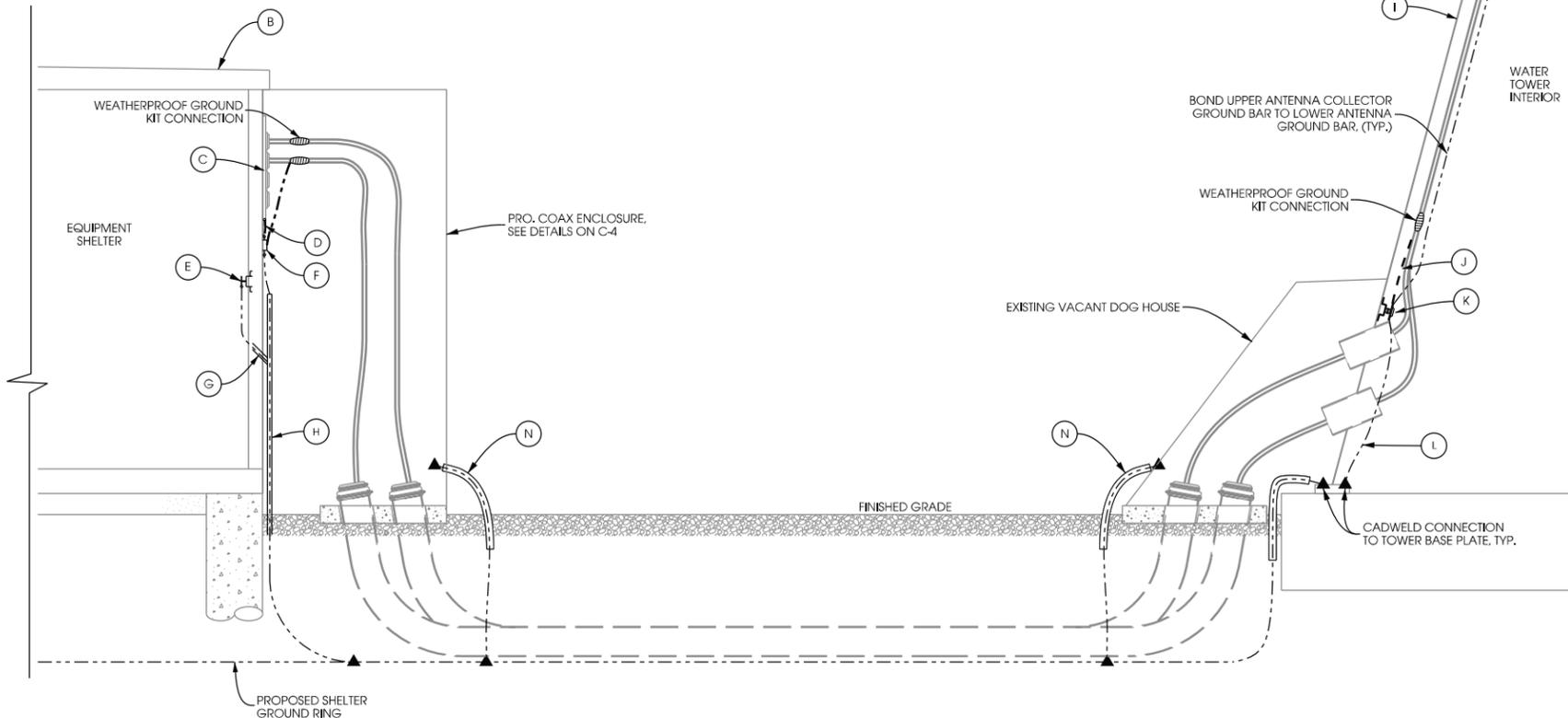
KEYED GROUNDING NOTES:

- (A) ICE BRIDGE POST
- (B) OUTLINE OF NEW EQUIPMENT SHELTER
- (C) WAVE GUIDE ENTRY PORT FURNISHED BY BUILDING MFR. SEE PAGE G-4
- (D) (2) #2 SOLID BARE TINNED COPPER GROUND LEAD FROM HATCH PLATE TO EXTERNAL GROUND BAR, TWO HOLE COMPRESSION LUG AT BOTH ENDS
- (E) MASTER GROUND BAR BY BUILDING MFR. ELECTRICAL CONTRACTOR TO EXTEND (2) #2 SOLID BARE TINNED COPPER GROUND LEADS DOWN THROUGH BUILDING WALL AT 45° ANGLE AND INTO 3/4" PVC CONDUITS.
- (F) EXTERIOR GROUND BAR BY BUILDING MFR. ELECTRICAL CONTRACTOR TO EXTEND (2) #2 SOLID BARE TINNED COPPER GROUND LEADS DOWN INTO 3/4" PVC CONDUITS AND PROVIDE NECESSARY CADWELD CONNECTIONS
- (G) (2) #2 SOLID BARE TINNED COPPER GROUND LEADS IN SEALED 3/4" PVC CONDUITS FROM EQUIPMENT RING TO MGB, CONTRACTOR TO PROVIDE ALL REQ'D CADWELD CONNECTIONS
- (H) 3/4" DIA. PVC CONDUITS SECURED W/ PLASTIC CLAMPS TO EXTERNAL GROUND BAR; EXTEND PVC PIPE 12" BELOW GRADE AND SEAL WITH SILICONE.
- (I) WATER TOWER
- (J) COAXIAL CABLE GROUND KITS TO LOWER ANTENNA GROUND BAR
- (K) LOWER ANTENNA GROUND BAR
- (L) PROVIDE (2) #2 SOLID BARE TINNED COPPER GROUND LEADS FROM LOWER TOWER GROUND BAR TO TOWER BASE PLATE STEEL; ALL LEADS TO BE ENCASED IN CARIFLEX CONDUIT
- (M) COAXIAL CABLES WITH DRIPLEOP INSTALLED BY ANTENNA CONTRACTOR, MAINTAIN MINIMUM BEND RADIUS
- (N) #2 SOLID BARE TINNED COPPER GROUND LEADS TO CABLE ENCLOSURE IN 3/4" PVC CONDUIT

LEGEND

- ▲ EXOTHERMIC CONNECTION (CADWELD OR EQUIVALENT)
- MECHANICAL CONNECTION (BURNDY OR EQUIVALENT)
- #2 SOLID BARE TINNED COPPER GROUND LEAD
- - - #6 INSULATED TINNED COPPER GROUND LEAD
- - - #2 GREEN STRANDED INSULATED COPPER GROUND LEAD

NOTE:
TEMPORARILY DISCONNECT WATER TOWER CATHODIC PROTECTION SYSTEM WHILE PERFORMING ANY WELDING TO TOWER



A TYP. GROUND LEVEL GROUNDING DETAILS
SCALE: NTS

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90s REV1 - 10/18/18	CV
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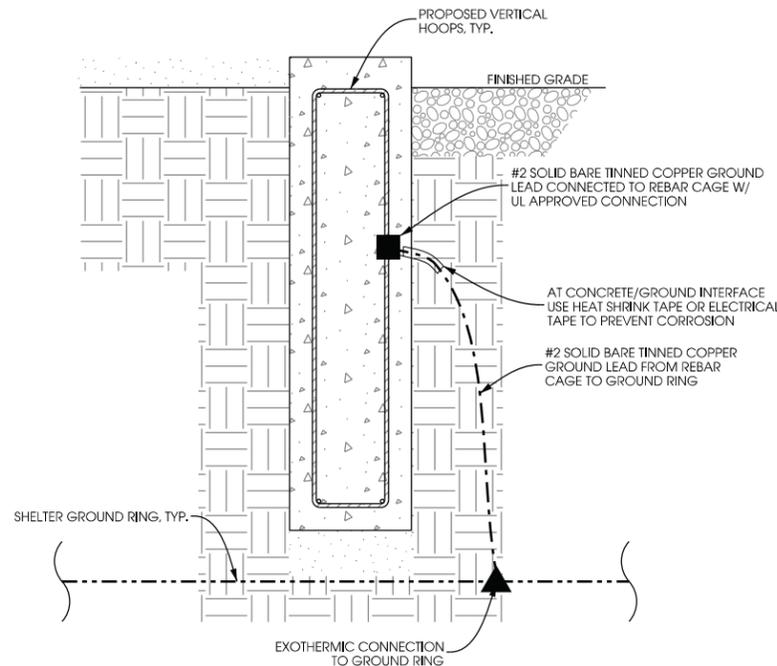
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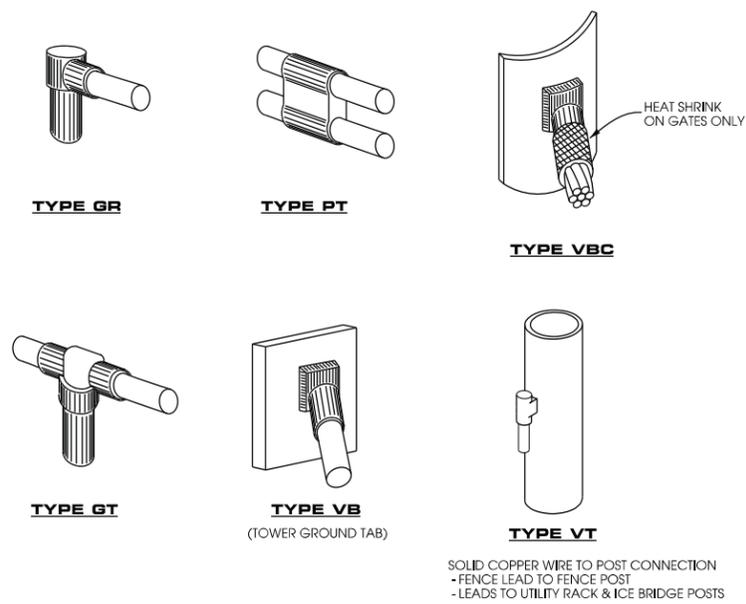
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PCM
PLOT DATE:
11/11/2019
PROJECT #:
20090
FILE NAME:
G-2.dgn

SHEET NUMBER:

NOTES:
 - FOUNDATION GROUNDING PER NEC 250.52(3)(A)
 - FOUNDATION GROUNDING CONNECTIONS TO BE COVERED BY A MINIMUM OF 3" OF CONCRETE.
 - REBAR GROUNDING SHALL BE MADE TO A MIN. 20' CONTINUOUS REBAR, IF POSSIBLE.

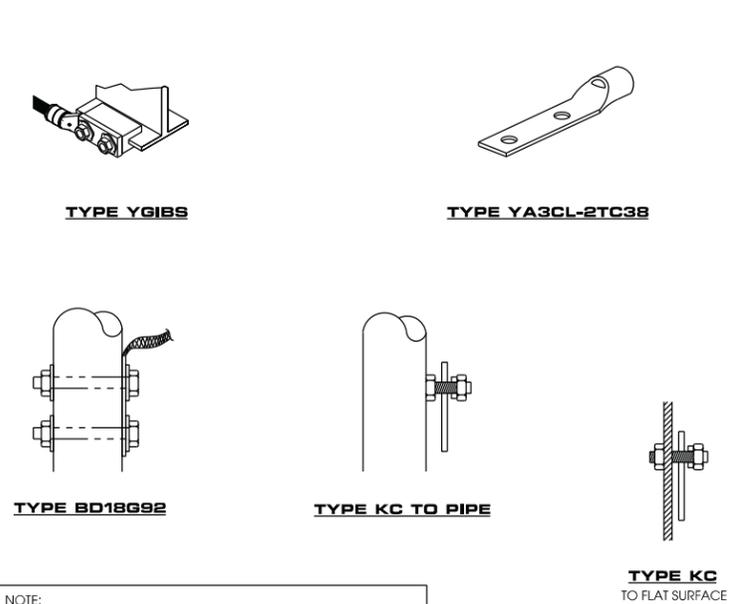


A SHELTER FOUNDATION GROUNDING
 SCALE: NTS



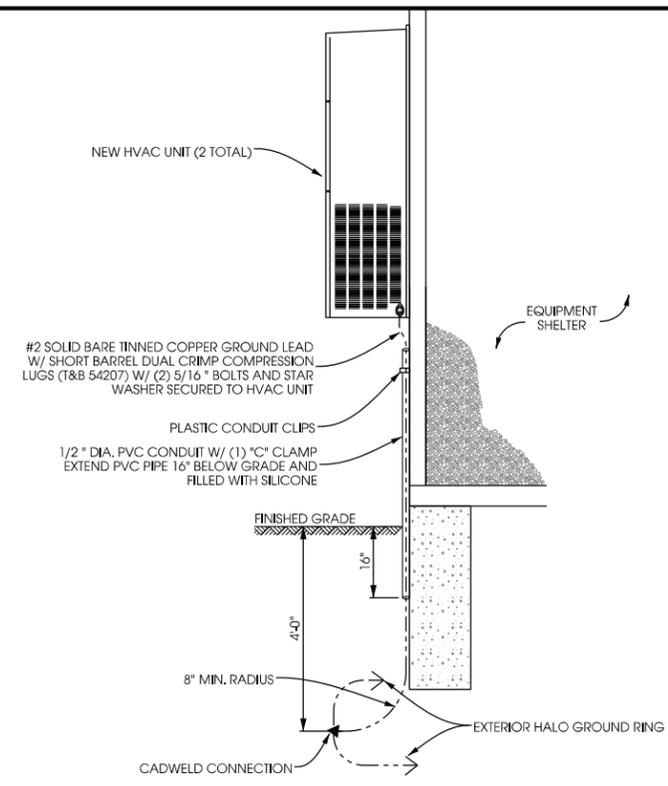
NOTE:
 CADWELD "TYPES" SHOWN ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR OTHER POSSIBLE TYPES OF CADWELDS THAT CAN BE USED IN STANDARD OR SPECIALLY DESIGNED GROUNDING PLANS.
 CONTRACTOR TO PROVIDE ALL REQUIRED CADWELD CONNECTIONS.

B CADWELD DETAILS
 SCALE: NTS

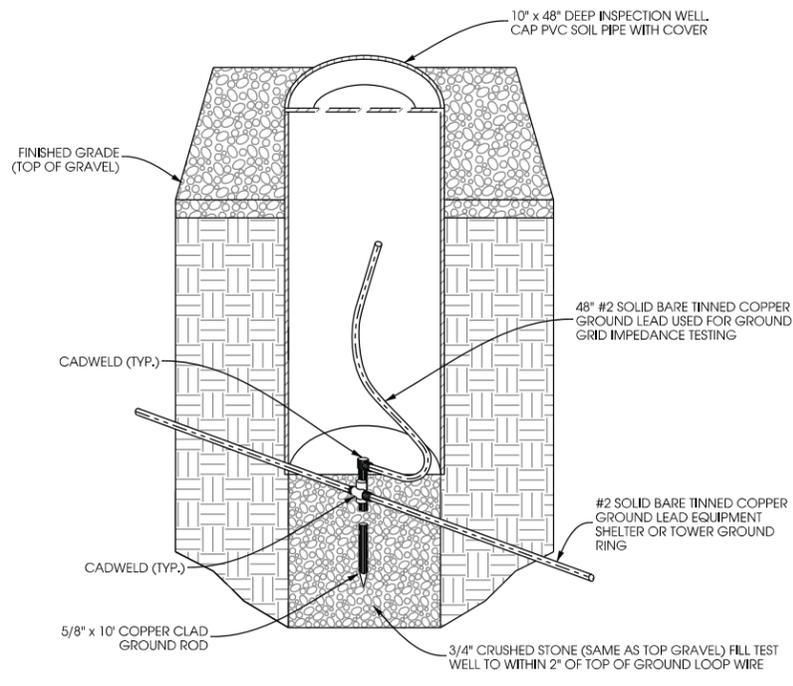


NOTE:
 BURNDY "TYPES" SHOWN ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR OTHER POSSIBLE TYPES OF BURNDY CONNECTIONS THAT CAN BE USED IN STANDARD OR SPECIALLY DESIGNED GROUNDING PLANS.
 CONTRACTOR TO PROVIDE ALL REQUIRED BURNDY CONNECTIONS.

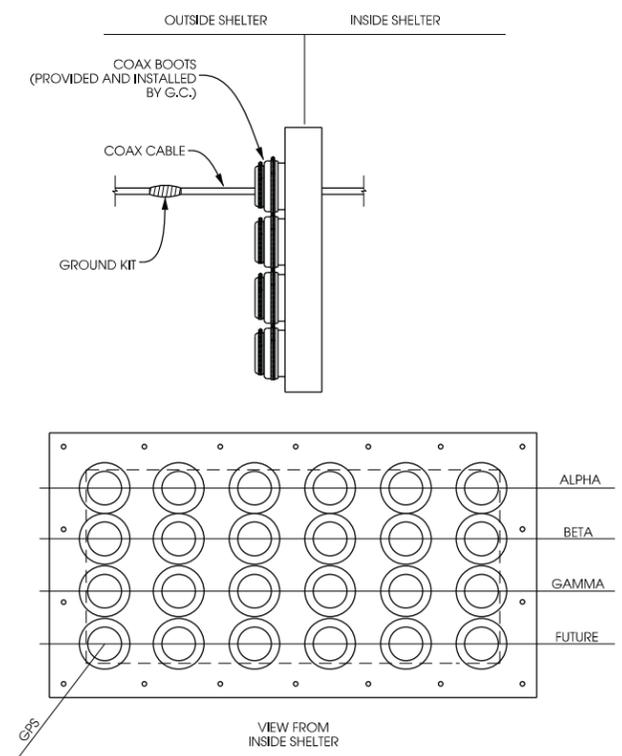
C BURNDY DETAILS
 SCALE: NTS



D HVAC GROUNDING DETAIL
 SCALE: NTS



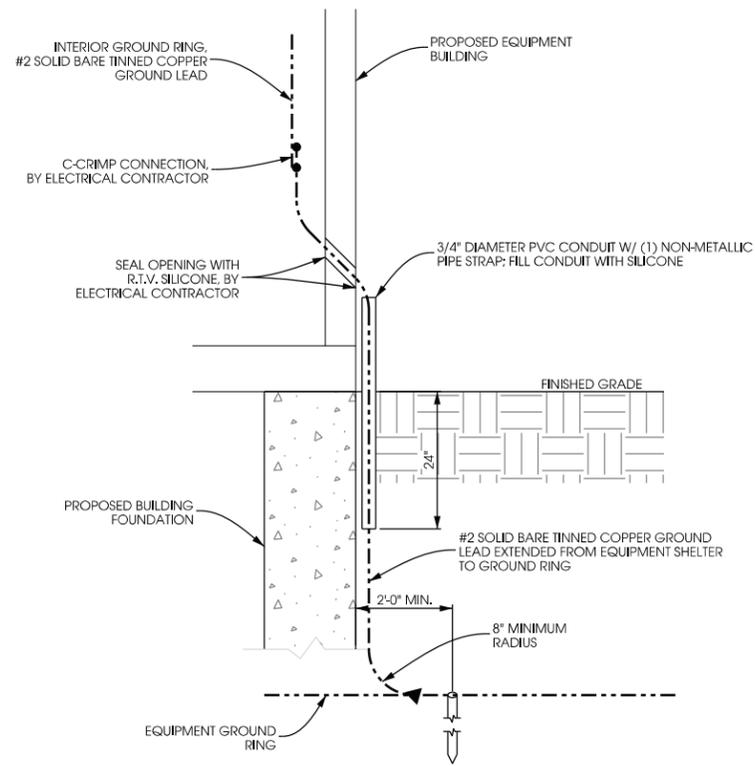
E INSPECTION WELL DETAIL
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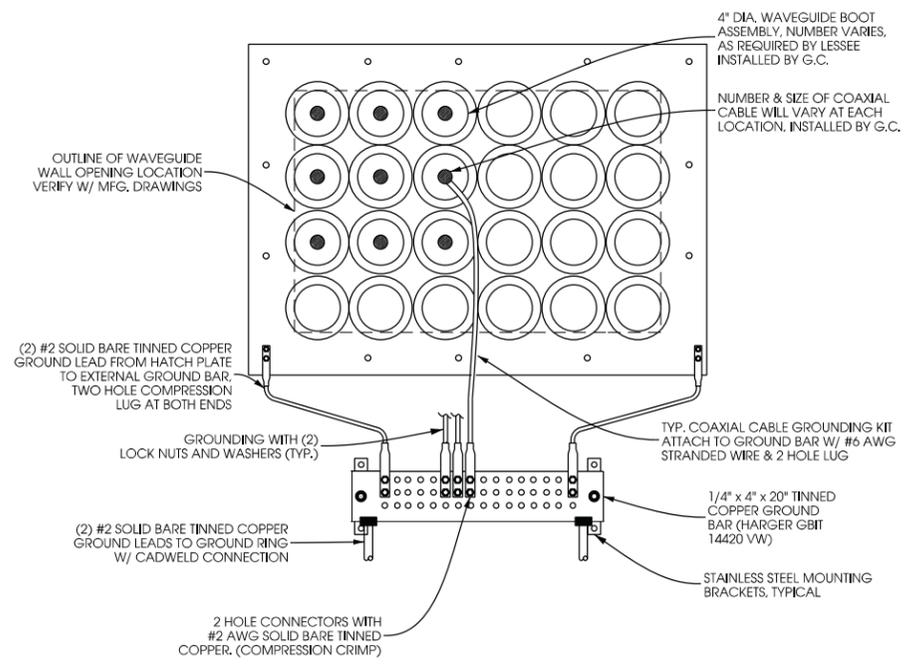
F HATCH PLATE LAYOUT
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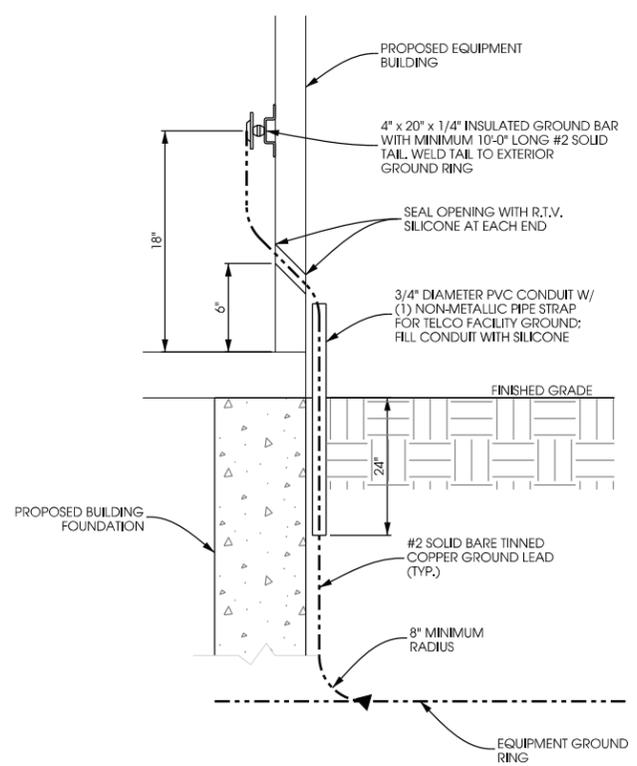
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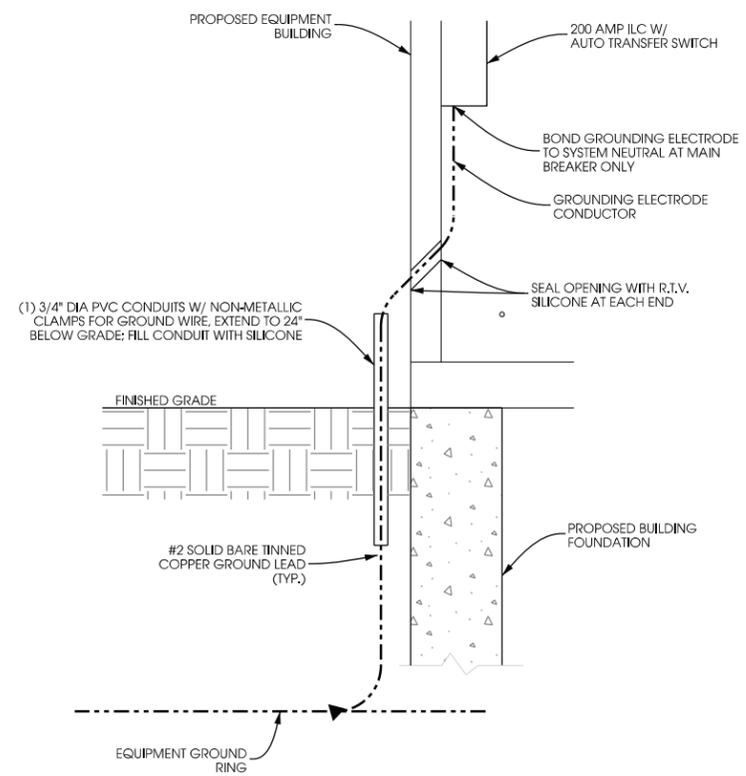
A BUILDING CORNER GROUNDING DETAIL
SCALE: NTS



B EXTERNAL SHELTER GROUND BAR
SCALE: NTS

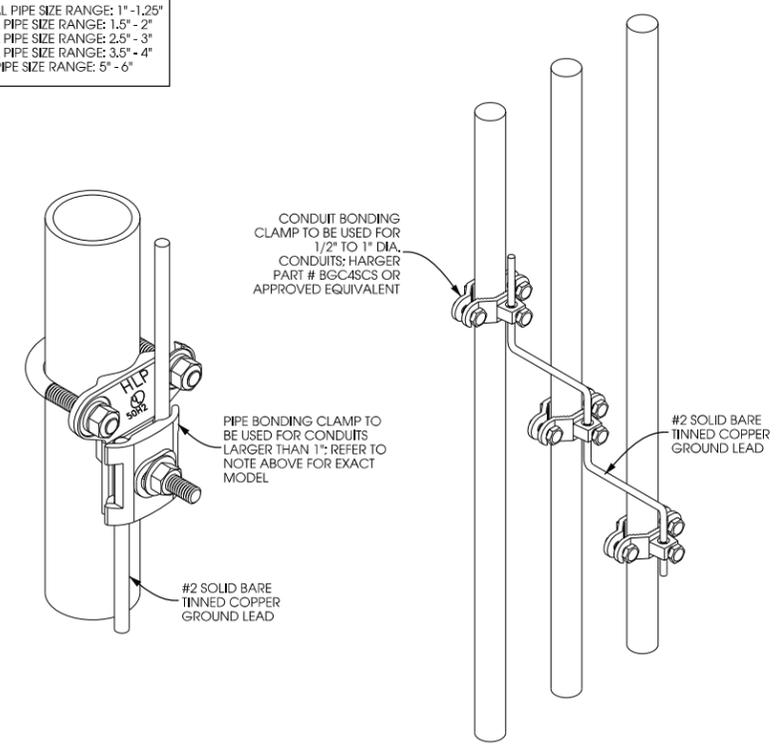


C TELCO SERVICE GROUNDING
SCALE: NTS



D ELECTRIC SERVICE GROUNDING
SCALE: NTS

- HARGER PART #:**
 CPC1/1.25 - NOMINAL PIPE SIZE RANGE: 1" - 1.25"
 CPC1.5/2 - NOMINAL PIPE SIZE RANGE: 1.5" - 2"
 CPC2.5/3 - NOMINAL PIPE SIZE RANGE: 2.5" - 3"
 CPC3.5/4 - NOMINAL PIPE SIZE RANGE: 3.5" - 4"
 CPC5/6 - NOMINAL PIPE SIZE RANGE: 5" - 6"



E CONDUIT GROUNDING
SCALE: NTS

SHEET TITLE:

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FINAL CD REV2 - 11/12/19	CV
CHECKED BY:	PCM
PLOT DATE:	11/11/2019
PROJECT #:	20090
FILE NAME:	G-4.dgn

GENERAL

THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE INTERRELATED WHEN PERFORMING THE WORK. EACH CONTRACTOR MUST REFER TO ALL DRAWINGS. COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

DIVISION 1: GENERAL REQUIREMENTS

SECTION 01700 - PROJECT CLOSEOUT

PART 1 - GENERAL

- A. OBTAIN AND SUBMIT RELEASES ENABLING THE OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES. INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES, AND SIMILAR RELEASES.
B. SUBMIT RECORD DRAWINGS, DAMAGE, OR SETTLEMENT SURVEY, PROPERTY SURVEY, AND SIMILAR FINAL RECORD INFORMATION.
C. COMPLETE FINAL CLEAN-UP REQUIREMENTS, INCLUDING TOUCH-UP PAINTING, TOUCH-UP AND OTHERWISE REPAIR AND RESTORED MARRED EXPOSED FINISHES.

PART 2 - FINAL CLEANING/PROJECT CLOSEOUT

- 1. COMPLETE THE FOLLOWING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATE OF COMPLETION:
A. CLEAN THE PROJECT SITE, YARD AND GROUNDS IN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, INCLUDING LANDSCAPE DEVELOPMENT, AREAS OF RUBBISH, WASTE MATERIALS, LITTER AND FOREIGN SUBSTANCES. SWEEP PAVED AREAS BROOM CLEAN. REMOVE PETRO-CHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS THAT ARE NEITHER PLANTED NOR PAVED TO A SMOOTH, EVEN-TEXTURED SURFACE.
B. REMOVE TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIAL FROM THE SITE.
C. REMOVE SNOW AND ICE TO PROVIDE SAFE ACCESS TO THE SITE AND EQUIPMENT BUILDING.
D. CLEAN EXPOSED EXTERIOR AND INTERIOR HARDSURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES.
E. REMOVE DEBRIS FROM LIMITED ACCESS SPACES, INCLUDING ROOFS, EQUIPMENT BUILDING, MANHOLES AND SIMILAR SPACES.
F. REMOVE LABELS THAT ARE NOT PERMANENT LABELS.
G. TOUCH-UP AND OTHERWISE REPAIR AND RESTORE MARRED EXPOSED FINISHES AND SURFACES. REPLACE FINISHES AND SURFACES THAT CAN NOT BE SATISFACTORILY REPAIRED OR RESTORED, OR THAT SHOW EVIDENCE OF REPAIR OR RESTORATION. DO NOT PAINT OVER "UL" AND SIMILAR LABELS, INCLUDING ELECTRICAL NAME PLATES.
H. LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY.
I. DUST OFF ALL EQUIPMENT, INCLUDING BATTERY PACKS, WITHIN EQUIPMENT BUILDING.
J. GENERAL CONTRACTOR TO CLEAN AND APPLY STATIC-FREE WAX TO THE FLOORS ONCE FINAL SHELTER EQUIPMENT AND ACCESSORIES ARE COMPLETED.
2. REMOVAL OF PROTECTION
REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED DURING CONSTRUCTION TO PROTECT PREVIOUSLY COMPLETED INSTALLATIONS DURING THE REMAINDER OF THE CONSTRUCTION PERIOD.

DIVISION 2: SITE WORK

SECTION 02200 - EARTHWORK AND DRAINAGE

PART 1 - GENERAL

- 1. WORK INCLUDED - SEE SITE PLAN

2. DESCRIPTIONS

ACCESS DRIVE WITH TURN-AROUND AREA, LEASE AREA, AND, IF APPLICABLE, UNDERGROUND UTILITY EASEMENTS ARE TO BE CONSTRUCTED TO PROVIDE A WELL-DRAINED, EASILY MAINTAINED, EVEN SURFACE FOR MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.

3. QUALITY ASSURANCE

- A. APPLY SOIL STERILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS (AS NEEDED).
B. APPLY AND MAINTAIN GRASS SEED AS RECOMMENDED BY THE SEED PRODUCER (AS NEEDED).
C. PLACE AND MAINTAIN VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, AS RECOMMENDED BY NURSERY INDUSTRY STANDARDS.

4. SEQUENCING

- A. CONFIRM SURVEY STAKES AND SET ELEVATIONS STAKES PRIOR TO ANY CONSTRUCTION.
B. COMPLETELY GRUB THE ACCESS DRIVE WITH TURN-AROUND, UNDERGROUND UTILITY EASEMENTS (IF APPLICABLE), AND LEASE AREA PRIOR TO FOUNDATION CONSTRUCTION, PLACEMENT OF BACKFILL AND SUB-BASE MATERIAL.
C. CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG ACCESS DRIVE.
D. BRING THE LEASE AREA AND ACCESS DRIVE WITH TURN-AROUND TO BASE COURSE ELEVATION PRIOR TO INSTALLING FOUNDATION.
E. APPLY SOIL STERILIZER PRIOR TO PLACING BASE MATERIALS SUCH THAT THE STERILIZER ONLY COMES IN CONTACT WITH PROPOSED GRAVEL SURFACES
F. GRADE, SEED, FERTILIZE, AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING UNDERGROUND UTILITY EASEMENTS) IMMEDIATELY AFTER BRINGING LEASE AND ACCESS DRIVE WITH TURN-AROUND TO BASE COURSE ELEVATION, WATER TO ENSURE GROWTH.
G. REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE TO AN AUTHORIZED AREA OR AS DIRECTED BY THE PROJECT MANAGER.
H. AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL STERILIZER TO STONE SURFACES.

5. SUBMITTALS

- A. BEFORE CONSTRUCTION
IF LANDSCAPING IS APPLICABLE TO THE CONTRACT, SUBMIT TWO (2) COPIES OF THE LANDSCAPE PLAN UNDER NURSERY LETTERHEAD. IF LANDSCAPE ALLOWANCE WAS INCLUDED IN THE CONTRACT, PROVIDE AN ITEMIZED LISTING OF PROPOSED COSTS ON NURSERY LETTERHEAD, REFER TO PLANS FOR LANDSCAPING REQUIREMENTS.
G. PLACE FILL OR STONE IN SIX (6) INCH MAXIMUM LIFTS, AND COMPACT BEFORE PLACING NEXT LIFT.
B. AFTER CONSTRUCTION
1. MANUFACTURER'S DESCRIPTION OF PRODUCT AND WARRANTY STATEMENT ON SOIL STERILIZED.
2. MANUFACTURER'S DESCRIPTION OF PRODUCT ON GRASS SEED AND FERTILIZER.
3. LANDSCAPING WARRANTY STATEMENT.

6. WARRANTY

- A. IN ADDITION TO THE WARRANTY ON ALL CONSTRUCTION COVERED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR ALL DAMAGE AND RESTORE AREA AS CLOSE TO ORIGINAL CONDITION AS POSSIBLE AT SITE AND SURROUNDINGS.
B. SOIL STERILIZATION APPLICATION TO GUARANTEE VEGETATION FREE ROAD AND SITE AREAS FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
C. DISTURBED AREAS WILL REFLECT GROWTH OF NEW GRASS PRIOR TO FINAL INSPECTION.
D. LANDSCAPING, IF INCLUDED WITHIN THE SCOPE OF THE CONTRACT, WILL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL INSPECTION.

PART 2 - PRODUCTS

1. MATERIALS

- A. SOIL STERILIZER SHALL BE AN EPA REGISTERED, PRE-EMERGENCE LIQUID:
TOTAL KILL PHASAR CORPORATION
PRODUCT 910 P.O. BOX 5123
EPA 10292-7 DEARBORN, MI 48128
313.563.8000
AMBUSH HERBICIDE FRAMAR INDUSTRIAL PRODUCTS
EPA REGISTERED 1435 MORRIS AVENUE
UNION, NJ 07083
800.526.4924
B. ROAD AND SITE MATERIALS SHALL CONFORM TO DOT SPECIFICATIONS (UNLESS OTHERWISE NOTED). ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF HIGHWAY AND TRANSPORTATION STANDARD SPECIFICATIONS.
C. SOIL STABILIZED FABRIC SHALL BE MRFR-500X.

PART 3 - EXECUTION

1. INSPECTIONS

LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY THE LOCAL JURISDICTION.

2. PREPARATION

- A. CLEAR TREES, BRUSH AND DEBRIS FROM LEASE AREA. ACCESS DRIVE WITH TURN-AROUND, AND UNDERGROUND UTILITY EASEMENTS AS REQUIRED FOR CONSTRUCTION.
B. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION, GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX (6) INCHES BELOW GRADE.
C. UNLESS OTHERWISE INSTRUCTED BY LESSEE, TRANSPORT ALL REMOVED TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
D. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL.
E. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE AREAS WITH A STABILIZED MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.
F. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, REMOVE SOFT SPOTS, PLACE SELECT FILL, AND COMPACT TO 95% MODIFIED PROCTOR.

3. INSTALLATION

- A. GRADE OR FILL THE LEASE AREA AND ACCESS DRIVE WITH TURN-AROUND AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SPOILS RESULTING FROM EXCAVATIONS, THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK, FINISHED GRADES, OR INDICATED SLOPES.
B. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF PROJECT AREA UNLESS AUTHORIZED BY PROJECT MANAGER AND AGREED TO BY LANDOWNER.
C. BRING THE ACCESS DRIVE WITH TURN-AROUND TO BASE COURSE ELEVATION TO FACILITATE CONSTRUCTION AND OBSERVATION DURING CONSTRUCTION OF THE SITE.
D. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
E. THE CONTRACT SHALL INCLUDE GRADING, BANKING, AND DITCHING, UNLESS OTHERWISE NOTED.
F. WHEN IMPROVING AN EXISTING ACCESS DRIVE, GRADE THE EXISTING DRIVE TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING FILL OR STONE.
H. THE TOP SURFACE COURSE SHALL EXTEND A MINIMUM OF ONE (1) FOOT BEYOND THE SITE FENCE, UNLESS OTHERWISE NOTED, AND SHALL COVER THE AREA AS INDICATED.
I. NO SLOPES ARE TO BE GREATER THAN 3:1.
J. APPLY RIP-RAP TO THE SIDES OF DITCHES AND DRAINAGE SWALES WHERE INDICATED ON THE DRAWINGS.
K. RIP-RAP ENTIRE DITCH FOR SIX (6) FEET IN ALL DIRECTIONS AT CULVERT OPENINGS. (WHEN APPLICABLE)
L. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIP-RAPPED.
M. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.
N. IN DITCHES WITH SLOPES GREATER THAN 10%, MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT AN ANGLE NO GREATER THAN 60° OFF THE DITCH LINE. RIP-RAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX (6) FEET ABOVE THE CULVERT ENTRANCE.
O. APPLY SEED AND FERTILIZER TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING, RAKE AREAS TO BE SEEDED TO EVEN THE SURFACE AND LOOSEN THE SOIL.
P. SOW SEED IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.
Q. ENSURE GROWTH OF SEEDED AND LANDSCAPED AREAS BY WATERING UP TO THE POINT OF RELEASE FROM THE CONTRACT. CONTINUE TO REWORK THE BARE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.

4. FIELD QUALITY CONTROL

COMPACT SOILS TO MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557. AREAS OF SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE. INDICATE PERCENTAGE OF COMPACTION ACHIEVED ON AS-BUILT DRAWINGS.

5. PROTECTION

- A. PROJECT SEEDED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET WILL BE AN ACCEPTABLE ALTERNATE.
B. ALL TREES PLACED IN CONJUNCTION WITH A LANDSCAPE CONTRACT WILL BE WRAPPED, TIED WITH THOSE PROTECTED WIRE, AND SECURED TO 2" x 2" x 4'-0" WOODEN STAKES EXTENDING TWO-FEET INTO THE GROUND ON FOUR SIDES OF THE TREE.
C. PROTECT ALL EXPOSED AREAS AGAINST WASHOUTS AND SOIL EROSION. ALL EROSION CONTROL METHODS SHALL CONFORM TO APPLICABLE BUILDING CODE REQUIREMENTS.

SECTION 02830 - CHAIN-LINK FENCING AND GATE(S)

PART 1 - GENERAL

1. WORK INCLUDED

SEE PLAN FOR SITE AND LOCATION OF FENCE AND GATE(S).

2. QUALITY ASSURANCE

ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THIS SPECIFICATION WILL BE GALVANIZED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE FABRIC SHALL NOT BE LESS THAN TWELVE (12) OUNCES PER SQUARE FOOT OF MATERIAL COVERED. POSTS SHALL BE HOT-DIPPED IN GRADE "E" ZINC, EIGHTEEN (18) OUNCES PER SQUARE FOOT.

3. SEQUENCING

IF THE SITE AREA HAS BEEN BROUGHT UP TO SURFACE COURSE ELEVATION (PRIOR TO THE FENCE CONSTRUCTION), FENCE POST EXCAVATION SPOILS MUST BE CONTROLLED TO PRECLUDE CONTAMINATION OF SAID SURFACE COURSE.

4. SUBMITTALS

- A. MANUFACTURER'S DESCRIPTIVE LITERATURE.
B. CERTIFICATE OR STATEMENT OF COMPLIANCE WITH THE SPECIFICATIONS.

PART 2 - PRODUCTS

1. FENCE MATERIAL

- A. ALL FABRIC WIRE, RAILS, HARDWARE, AND OTHER STEEL MATERIALS SHALL BE HOT-DIPPED GALVANIZED.
B. FABRIC SHALL BE 9 GAUGE. THE FABRIC SHALL HAVE A KNUCKLED FINISH FOR THE TOP SELVAGES. FABRIC SHALL CONFORM TO THE SPECIFICATIONS OF ASTM A-392 CLASS 1.
C. BARBED WIRE SHALL BE DOUBLE-STRAND, 12-1/2 GAUGE TWISTED WIRE, WITH 14-GAUGE, 4-POINT ROUND BARBS SPACED ON FIVE (5) INCH CENTERS.
D. ALL POSTS SHALL BE SCHEDULE - 40 MECHANICAL SERVICE PIPE AND SHALL BE PER ASTM-F1083 AND OF THE FOLLOWING ACTUAL OUTER DIAMETERS:
LINE: 2.375" O.D. SCHEDULE 40
CORNER: 2.875" O.D. SCHEDULE 40 (FOR FENCE FABRIC HEIGHT OF 6' OR LESS)
3.5" O.D. SCHEDULE 40 (FOR FENCE FABRIC HEIGHT OF 8' OR LESS)
GATE: 4" O.D. SCHEDULE 40
E. GATE POSTS SHALL BE EXTENDED TWELVE (12) INCHES, INCLUDING DOME CAP, TO PROVIDE FOR ATTACHMENT OF BARBED WIRE.
F. ALL TOP AND BRACE RAILS SHALL BE 1.66" O.D. SCHEDULE - 40 MECHANICAL-SERVICE PIPE.
G. GATE FRAMES AND BRACES SHALL BE 1.9" O.D. SCHEDULE 40 MECHANICAL-SERVICE PIPE. FRAMES SHALL HAVE WELDED CORNERS.
H. GATE FRAMES SHALL HAVE A FULL-HEIGHT VERTICAL BRACE AND A FULL-WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.
I. GATE HINGES SHALL BE MERCHANTS METAL MODEL 64386 HINGE ADAPTER WITH MODEL 6409, 180-DEGREE ATTACHMENT.
J. THE GUIDE (LATCH ASSEMBLY) SHALL BE HEAVY INDUSTRIAL DOUBLE GATE LATCH. SEE DETAIL(S).
K. LATCHES AND STOPS SHALL BE PROVIDED FOR ALL GATES.
L. PLUNGER ROD COMPLETE WITH RECEPTOR TO BE PROVIDED AT THE INACTIVE LEAF OF ALL DOUBLE GATE INSTALLATIONS.
M. ALL STOPS SHALL HAVE KEEPERS CAPABLE OF HOLDING THE GATE LEAF IN THE OPEN POSITION.
N. A 9 GAUGE ALUMINUM TENSION WIRE SHALL BE USED AT THE BOTTOM OF THE FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATE POSTS.
O. A SIX (6) INCH BY 1/2 INCH DIAMETER EYEBOLT TO HOLD TENSION WIRE SHALL BE PLACED AT LINE POSTS. (WHEN APPLICABLE)
P. STRETCHER BARS SHALL BE 3/16 INCH BY 3/4 INCH OR HAVE EQUIVALENT CROSS-SECTIONAL AREA.
Q. ALL CORNER GATE AND PANELS SHALL HAVE A 3/8 INCH TRUSS ROD WITH TURNBUCKLES.
R. ALL POSTS EXCEPT GATE POSTS SHALL HAVE A COMBINATION CAP AND BARBED WIRE SUPPORTING ARM. GATE POSTS SHALL HAVE A DOME CAP.
S. OTHER HARDWARE INCLUDES, BUT MAY NOT BE LIMITED TO, TIE CLIPS, BAND CLIPS AND TENSION BAND CLIPS.
T. BARBED WIRE GATE GUARDS SHALL BE FITTED WITH DOME CAPS.
U. BARBED WIRE SUPPORT ARMS SHALL BE PRESSED STEEL COMPLETE WITH SET BOLT AND LOCK WIRE IN THE ARM.
V. ALL CAPS SHALL BE MALLEABLE IRON, DOME OR ACORN SHAPED AS REQUIRED BY PIPE SIZE.
W. WHERE THE USE OF CONCERTINA HAS BEEN SPECIFIED, 24-INCH DIAMETERS COIL, BARBED TAPE, STAINLESS STEEL, CYCLONE FENCE MODEL G8P TO TYPE III SHALL BE FURNISHED. IT SHALL BE SUPPORTED ABOVE THE TOP RAIL BY USE OF SIX (6) WIRE BARBED WIRE ARMS POSITIONED ATOP EACH LINE/CORNER POST.

PART 3 - EXECUTION

1. INSPECTION

TO CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS. ALL POST HOLES WILL BE EXCAVATED AS PER CONSTRUCTION DOCUMENTS.

2. INSTALLATION

- A. FOUNDATIONS SHALL HAVE A MINIMUM SIX (6) INCH CONCRETE COVER UNDER POST.
B. ALL FENCE POSTS SHALL BE VERTICALLY PLUMB WITHIN ONE QUARTER (1/4) INCH.
C. FABRIC SHALL BE TENSIONED PER MANUFACTURER'S RECOMMENDATIONS TO PRESENT A NEAT APPEARANCE.
D. AT CORNER POSTS, GATE POSTS, AND SIDES OF GATE FRAME, FABRIC SHALL BE ATTACHED WITH STRETCHER AND TENSION BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.
E. AT LINE POSTS, FABRIC SHALL BE ATTACHED WITH BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.
F. FABRIC SHALL BE ATTACHED TO BRACE RAILS, TENSION WIRE AND TRUSS RODS WITH TIE-CLIPS AT TWO (2) FOOT INTERVALS.
G. A MAXIMUM GAP OF ONE (1) INCH WILL BE PERMITTED BETWEEN TIE CHAIN LINE FABRIC AND THE FINAL GRADE.
H. GATE SHALL BE INSTALLED SO LOCKS ARE ACCESSIBLE FROM BOTH SIDES.
I. GATE HINGE BOLTS SHALL HAVE THEIR THREADS PEENED OR WELDED TO PREVENT UNAUTHORIZED REMOVAL.
J. GATE POSTS SHALL NOT BE SHARED AS A CORNER POST.
K. CONCRETE TO BE A MINIMUM OF 3,000 PSI AT 28 DAYS. CEMENT SHALL EXCEED ASTM C150, TYPE IIIA.

3. PROTECTION

UPON COMPLETION OF ERECTION, INSPECT FENCE MATERIAL AND PAINT FIELD CUTS OR GALVANIZING BREAKS WITH ZINC-BASED PAINT, COLOR TO MATCH THE GALVANIZED METAL.

APPLICABLE STANDARDS:

- ASTM-A53 SPECIFICATION FOR PIPE, STEEL BLACK AND HOT-DIPPED ZINC COATED (GALVANIZED) WELDED AND SEAMLESS, FOR ORDINARY USES.
ASTM-A123 ZINC (HOT-DIP GALVANIZED) COATING ON IRON AND STEEL PRODUCTS.
ASTM-A153 STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL HARDWARE.
ASTM-A392 SPECIFICATION FOR ZINC-COATED STEEL CHAIN LINK FENCE FABRIC.
ASTM-A491 SPECIFICATION FOR ALUMINUM-COATED STEEL CHAIN LINK FENCE FABRIC
ASTM-A525 STANDARD SPECIFICATION FOR STEEL SHEET ZINC COATED (GALVANIZED) BY THE HOT-DIPPED PROCESS.
ASTM-A570 SPECIFICATION FOR HOT-ROLLED CARBON STEEL SHEET AND STRIP, STRUCTURAL QUALITY.
ASTM-A535 SPECIFICATION FOR ALUMINUM COATED STEEL BARBED WIRE, FEDERAL SPECIFICATION RR-F191-FENCING, WIRE AND POST METAL AND GATES, CHAIN LINK FENCE FABRIC, AND ACCESSORIES.
ASTM-F1083 SPECIFICATION FOR PIPE, STEEL HOT-DIPPED ZINC-COATED (GALVANIZED) WELDED, FOR FENCE STRUCTURES.

DIVISION 3: CONCRETE

SECTION 03000 - BASIC CONCRETE MATERIALS AND METHODS

PART 1 - GENERAL

1. WORK INCLUDED

FORMWORK, REINFORCEMENT, ACCESSORIES, CAST-IN-PLACE CONCRETE, FINISHING, AND CURING.

2. INSPECTIONS

- A. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING BUILDING DEPARTMENT INSPECTIONS REQUIRED FOR HIS SCOPE OF WORK.
B. ALL REINFORCING STEEL SHALL BE INSPECTED AND APPROVED BY THE LESSEE CONSTRUCTION MANAGER PRIOR TO PLACEMENT OF CONCRETE.
C. THE LESSEE CONSTRUCTION MANAGER SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS.

3. QUALITY ASSURANCE

- A. CONSTRUCT AND ERECT CONCRETE FORMWORK IN ACCORDANCE WITH ACI 301 AND ACI 318.
B. PERFORM CONCRETE REINFORCING WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ASTM A184.
C. PERFORM CAST-IN-PLACE CONCRETE WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ACI 117-90.
D. OPEN FOUNDATION TRENCHES SHALL BE INSPECTED PRIOR TO CONCRETE INSTALLATION.

4. SUBMITTALS

SUBMIT CONCRETE MIX AND REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL BY LESSEE CONSTRUCTION MANAGER/ENGINEER. THE SHOP DRAWINGS SHALL BE SUBMITTED IN THE FORM OF TWO (2) CONCRETE MIX DESIGN INFORMATION SHEETS AND TWO (2) BLUELINE DRAWINGS FOR REINFORCING STEEL.

PART 2 - PRODUCTS

1. REINFORCEMENT MATERIALS

- A. REINFORCEMENT STEEL: ASTM A615, 60 KSI YIELD GRADE, DEFORMED BILLET STEEL BARS, PLAIN FINISH.
B. WELDED STEEL WIRE FABRIC: ASTM A185 PLAIN TYPE, IN FLAT SHEETS, PLAIN FINISH.
C. CHAIRS, BOLSTERS, BAR SUPPORTS, SPACERS, SIZED AND SHAPED TO SUPPORT REINFORCING.
D. FABRICATE CONCRETE REINFORCING IN ACCORDANCE WITH ACI 315, ACI 318, ASTM A184.

2. CONCRETE MATERIALS

- A. CEMENT: ASTM C150, PORTLAND TYPE
B. FINE AND COURSE AGGREGATES: ASTM C33 - MAXIMUM SIZE OF CONCRETE AGGREGATE SHALL NOT EXCEED ONE (1) INCH SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR ONE-THIRD (1/3) CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING.
C. WATER: CLEAN AND NOT DETRIMENTAL TO CONCRETE.
D. AIR ENTRAINING ADMIXTURE: ASTM C260.
E. BONDING AGENT: LATEX EMULSION FOR BONDING NEW TO OLD CONCRETE AS MANUFACTURED BY DAYTON SUPERIOR.
F. NON-SHRINK GROUT: PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICISING AGENTS.

3. CONCRETE MIX

- A. CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE A.C.I. REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.
B. MIX AND DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94, ALT. 3.
C. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. PROVIDE CONCRETE AS FOLLOWS:

- 1. COMPRESSIVE STRENGTH: 3000 PSI AT 28 DAYS, (MIN. OR AS SPECIFIED IN STRUCTURAL DRAWINGS)
2. SLUMP: 4 INCHES
3. AIR ENTRAINMENT: 6%

PART 3 - EXECUTION

1. INSERTS, EMBEDDED COMPONENTS AND OPENINGS

- A. THE CONTRACTOR SHALL COORDINATE AND CROSS-CHECK ARCHITECTURAL, BUILDING & ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, AND OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THE PROPER LOCATION BEFORE PLACING CONCRETE.
B. PROVIDE FORMED OPENINGS WHERE REQUIRED FOR WORK TO BE EMBEDDED IN AND PASSING THROUGH CONCRETE MEMBERS.
C. COORDINATE WORK OF OTHER SECTIONS IN FORMING AND SETTING OPENING, SLOTS, RECESSES, CHASES, SLEEVES, BOLTS, ANCHORS, AND OTHER INSERTS.
D. INSTALL CONCRETE ACCESSORIES STRAIGHT, LEVEL AND PLUMB.
2. REINFORCEMENT PLACEMENT
A. PLACE REINFORCEMENT, SUPPORTED AND SECURED AGAINST DISPLACEMENT.
B. ENSURE REINFORCING IS CLEAN, FREE OF LOOSE SCALE, DIRT, OR OTHER FOREIGN COATINGS.
C. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.



SPECIFICATIONS WHALEN [458621] VERONA, WISCONSIN

SHEET TITLE:

Table with columns for drawing revision (CD 90s REV1-10/18/18), date, and initials (INI, CV, AGU, JAH).

Table with columns for drawing revision (FINAL CD REV1-10/01/19, FINAL CD REV2-11/12/19) and initials (CV).

CHECKED BY: PCM
PLOT DATE: 11/11/2019
PROJECT #: 20090
FILE NAME: SP-1.dgn
SHEET NUMBER: SP-1

14-200000-200900-CAD-1-Plot-CDS-SP-1.dgn

- D. MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE THREE (3) INCHES UNLESS OTHERWISE NOTED.
- E. CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED THREE (3) INCHES NOR BE LESS THAN TWO (2) INCHES.
3. PLACING CONCRETE
- A. VIBRATE ALL CONCRETE.
- B. ALL CONCRETE WORK SHALL ADHERE TO THE LATEST A.C.I. STANDARDS FOR WINTER POURING AND CURING PROCEDURES IF SEASONAL CONDITIONS APPLY.
4. CURING
- A. AFTER PLACEMENT, PROTECT CONCRETE FROM PREMATURE DRYING.
- B. MAINTAIN CONCRETE WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.
5. PROVIDE HAND RUBBED SMOOTH FINISH TO ALL EXPOSED VERTICAL FORMED CONCRETE SURFACES.
6. FIELD QUALITY CONTROL
- A. SUBMIT THREE (3) CONCRETE TEST CYLINDERS - TAKEN FOR EVERY FIFTEEN (15) CUBIC YARD OR LESS, SUBMIT CONCRETE TESTS TO THE PROJECT MANAGER IN ACCORDANCE WITH ASTM , C-31 AND C-39.
- B. SUBMIT ONE (1) ADDITIONAL TEST CYLINDER - TAKEN DURING COLD WEATHER POURS, AND CURED ON JOB SITE UNDER SAME CONDITIONS AS CONCRETE IT REPRESENTS.
- C. SUBMIT ONE (1) SLUMP TEST - TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN.
7. DEFECTIVE CONCRETE
- MODIFY OR REPLACE CONCRETE NOT CONFORMING TO REQUIRED LINES, DETAILS OR ELEVATIONS AT COST OF GC, AS DIRECTED BY ARCHITECT/ENGINEER.

DIVISION 5: METALS

SECTION 05000 - METALS

PART 1 - GENERAL

1. SECTION INCLUDES

- STRUCTURAL STEEL FRAMING MEMBERS, BASE PLATES, PLATES, BARS AND GROUTING UNDER BASE PLATES.
2. SUBMITTALS
- SHOP DRAWINGS: INDICATE SIZES, SPACING, AND LOCATIONS OF STRUCTURAL MEMBERS, OPENINGS, CONNECTIONS, CAMBERS.
3. QUALITY ASSURANCE
- A. FABRICATE STRUCTURAL STEEL MEMBERS IN ACCORDANCE WITH AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- B. PERFORM DESIGN UNDER DIRECT SUPERVISION OF A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE.

PART 2 - PRODUCTS

1. MATERIALS:
- A. STRUCTURAL STEEL MEMBERS: ASTM A572, GRADE 50
- B. STRUCTURAL TUBING: ASTM A500, GRADE B
- C. PIPE: ASTM A53, TYPE E OR S, GRADE B
- D. BOLTS, NUTS, AND WASHERS: ASTM A325
- E. ANCHOR BOLTS: ASTM A307
- F. WELDING MATERIALS: AWS D1.1, TYPE REQUIRED FOR MATERIALS BEING WELDED
- G. GROUT: NON-SHINK TYPE, PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICISING ADDITIVES, CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 7000 PSI AT 28 DAYS.
- H. SHOP AND TOUCH-UP PRIMER: SSPC 15, TYPE 1, RED OXIDE
- I. TOUCH-UP PRIMER FOR GALV. SURFACES: ZINC RICH TYPE
2. FABRICATION: CONTINUOUSLY SEAL JOINTED MEMBERS BY CONTINUOUS WELDS. GRIND EXPOSED WELDS SMOOTH.
3. FINISH
- A. PREPARE STRUCTURAL COMPONENT SURFACES IN ACCORDANCE WITH SSPC SP-1 TO SP-10 PROCEDURES.
- B. STRUCTURAL STEEL MEMBERS SHALL BE HOT DIPPED GALVANIZED.

PART 3 - EXECUTION

1. EXAMINATION AND PREPARATION
- VERIFY THAT THE FIELD CONDITIONS ARE ACCEPTABLE.
2. ERECTION:
- A. ALLOW FOR ERECTION LOADS. PROVIDE TEMPORARY BRACING TO MAINTAIN FRAMING IN ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT BRIDGING AND BRACING.
- B. FIELD WELD COMPONENTS INDICATED ON SHOP DRAWINGS.
- C. DO NOT FIELD CUT OR ALTER STRUCTURAL MEMBERS WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER.
- D. AFTER ERECTION, TOUCH-UP WELDS, ABRASIONS, AND SURFACES NOT SHOP PRIMED OR GALVANIZED WITH TOUCH-UP PRIMERS AS SPECIFIED UNDER SECTION 05000 - METALS, PART 2 - PRODUCTS, H & I SURFACES TO BE IN CONTACT WITH CONCRETE NOT INCLUDED.
3. FIELD QUALITY CONTROL
- FIELD INSPECTION OF MEMBERS, CONNECTIONS, WELDS AND TORQUING.

DIVISION 16: ELECTRICAL

SECTION 16050 - BASIC ELECTRICAL MATERIALS AND METHODS

1. CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS PRIOR TO ORDERING THE ELECTRICAL EQUIPMENT AND STARTING THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ARCHITECT/ENGINEER LISTING ANY DISCREPANCIES OR CONFLICTING INFORMATION.
2. ELECTRICAL PLANS, DETAILS AND DIAGRAMS ARE DIAGRAMMATIC ONLY, VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS OF ELECTRICAL EQUIPMENT WITH OWNER PRIOR TO INSTALLATION.
3. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULL BOX, JUNCTION BOX, SWITCH BOX, ETC. THE TYPE OF TAGGING METHODS SHALL BE IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A.).
4. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN GOOD WORKING CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED "J" WHERE APPLICABLE. MATERIALS SHALL MEET WITH APPROVAL OF ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NBFV AND "UL" LISTED.
5. ALL CONDUIT SHALL HAVE A PULL CORD.
6. PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS, AND CIRCUITS.
7. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
8. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY UBC, NEC AND ALL APPLICABLE CODES.
9. PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
10. PLASTIC PLATES FOR ALL SWITCHES, RECEPTACLES, TELEPHONE AND BLANKED OUTLETS SHALL HAVE ENGRAVED LETTERING WHERE INDICATED ON THE DRAWINGS. WEATHERPROOF RECEPTACLES SHALL HAVE SIERRA #WPD-8 LIFT COVERPLATES.

SECTION 16400 - SERVICE AND DISTRIBUTION

1. WIRE AND CABLE CONDUCTORS SHALL BE COPPER, 600V, TYPE THHN OR THWN, WITH A MIN. SIZE OF #12 AWG, COLOR CODED. ALL RECTIFIER DROPS SHALL BE STRANDED TO ACCEPT CRIMP CONNECTORS.
2. ALL CHEMICAL GROUND RODS SHALL BE "UL" APPROVED.
3. METER SOCKET AMPERES, VOLTAGE, NUMBER OF PHASES SHALL BE AS NOTED ON THE DRAWINGS, MANUFACTURED BY MILBANK
4. CONDUIT
- A. RIGID CONDUIT SHALL BE UL LABEL GALVANIZED ZINC COATED WITH GALVANIZED ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH THE EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS OR EXPOSED ON BUILDING EXTERIOR. RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE 1/2 LAPPED WRAPPED WITH HUNTS WRAP PROCESS NO. 3.
- B. ELECTRICAL METALLIC TUBING SHALL HAVE UL LABEL, FITTING SHALL BE GLAND RING COMPRESSION TYPE.
- C. FLEXIBLE METALLIC CONDUIT SHALL HAVE UL LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR "SQUEEZE" TYPE. ALL FLEXIBLE CONDUITS SHALL HAVE FULL LENGTH GROUND WIRE.
- D. ALL UNDERGROUND CONDUIT SHALL BE AS NOTED ON THE DRAWINGS AT A MINIMUM DEPTH OF 42" BELOW GRADE. IT IS REQUIRED AND WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO NOTIFY THE STATE "ONE-CALL" SYSTEM AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO DIGGING OR AS REQUIRED BY LOCATOR.
5. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. ALL COSTS TO BE PAID BY THE CONTRACTOR.
6. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS WITH WHITE ON BLUE BACKGROUND LETTERING (MINIMUM LETTER HEIGHT SHALL BE 1/4-INCH). NAMEPLATES SHALL BE FASTENED WITH STAINLESS STEEL SCREWS, NOT ADHESIVE.
7. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL POTENTIAL GROUNDING TESTS BY AN INDEPENDENT TESTING SERVICE ENGAGED BY THE CONTRACTOR. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.
8. GROUNDING ELECTRODE SYSTEM
- A. PREPARATION
1. SURFACE PREPARATION ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTED SURFACES SHALL BE FIELD INSPECTED AND MODIFIED TO ENSURE PROPER CONTACT. NO WASHERS ARE ALLOWED BETWEEN THE ITEMS BEING GROUNDED. ALL CONNECTIONS ARE TO HAVE A AGENT APPLIED PRIOR TO INSTALLATION.
2. GROUND BAR PREPARATION ALL COPPER GROUND BARS SHALL BE CLEANED, POLISHED AND A NON-OXIDIZING AGENT APPLIED. NO FINGERPRINTS OR DISCOLORED COPPER WILL BE PERMITTED.
3. SLEEVES ALL GROUNDING CONDUCTORS SHALL RUN THROUGH PVC SLEEVES WHEREVER CONDUCTORS RUN THROUGH WALLS, FLOORS THROUGH EMT. BOTH ENDS OF CONDUIT SHALL BE GROUNDED. SEAL BOTH ENDS OF CONDUIT WITH SILICONE CALK.
- B. GROUND BARS
1. ALL GROUND BARS SHALL BE 1/4-INCH THICK TINNED COPPER PLATE AND OF SIZE INDICATED ON DRAWINGS.
2. ALL CONNECTIONS TO THE GROUND BAR SHALL OBSERVE THE FOLLOWING SEQUENCE
- A. BOLT-HEAD
- B. 2-HOLE LUG
- C. TINNED COPPER BUSS BAR
- D. STAR WASHER
- E. NUT
- C. EXTERNAL CONNECTIONS
1. ALL BURIED GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC WELD PROCESS. CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, TEES, CROSSES, ETC. ALL CABLE TO GROUND RODS, GROUND ROD SPLICES AND LIGHTNING PROTECTION SYSTEMS ARE TO BE AS INDICATED. ALL MATERIALS USED (MOLDS, WELDING METAL, TOOLS, ETC.) SHALL BE BY "CADWELD" AND INSTALLED PER MANUFACTURER'S RECOMMENDED PROCEDURES.
2. ALL ABOVE GRADE GROUNDING AND BONDING CONDUCTORS SHALL BE CONNECTED BY TWO HOLE CRIMP TYPE (COMPRESSION) CONNECTIONS (EXCEPT FOR THE ACEG AND GROUND ROD) MECHANICAL CONNECTIONS, FITTINGS OR CONNECTIONS THAT DEPEND SOLELY ON SOLDER SHALL NOT BE USED. ALL CABLE TO CABLE CONNECTIONS SHALL BE HIGH PRESSURE DOUBLE CRIMP TYPE CONNECTIONS.
- D. GROUND RODS ALL GROUND RODS SHALL BE 5/8-INCH DIAMETER x 10'-0" LONG "COPPERWELD" OR APPROVED EQUAL. OF THE NUMBER AND LOCATIONS INDICATED, GROUND RODS SHALL BE DRIVEN FULL LENGTH VERTICAL IN UNDISTURBED EARTH.

E. GROUND CONDUCTORS

ALL GROUND CONDUCTORS SHALL BE STANDARD TINNED SOLID BARE COPPER ANNEALED, AND OF SIZE INDICATED ON DRAWINGS UNLESS NOTED OTHERWISE.

F. LUGS

1. LUGS SHALL BE 2-HOLE, LONG BARREL, STRAND COPPER UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. LUGS SHALL BE THOMAS AND BETTS SERIES #548 OR EQUIVALENT BENDING.
- | | |
|-----------------------|---------|
| A. 535 MCM DLO | 54880BE |
| B. 262 MCM DLO | 54872BE |
| C. #1/0 DLO | 54862BE |
| D. #4/0 THWN AND BARE | 54860BE |
| E. #2/0 THWN | 54852BE |
| F. #2 THHN | 54207BE |
| G. #6 DLO | 54205BE |

2. WHEN THE DIRECTION OF THE CONDUCTOR MUST CHANGE, IT SHALL BE DONE GRADUALLY. THE CURVATURE OF THE TURN SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING CHART:

GROUNDING CONDUCTOR SIZE	RADIUS TO INSIDE EDGE
NO. 6 AWG TO NO. 4 AWG	6 INCHES
NO. 2 AWG TO NO. 1/0 AWG	8 INCHES
NO. 2/0 AWG TO 4/0 MCM	12 INCHES
250 MCM TO 750 MCM	24 INCHES

G. GROUND RING

1. THE EXTERNAL GROUND RING ENCIRCLING THE TOWER (IF APPLICABLE) AND THE EQUIPMENT SHELTER OR PLATFORM/SKID SHALL BE MINIMUM NO. 2 A.W.G. SOLID TINNED BARE COPPER CONDUCTOR IN DIRECT CONTACT WITH THE EARTH AT THE DEPTH INDICATED ON THE DRAWINGS. CONDUCTOR BENDS SHALL HAVE A MINIMUM BENDING RADIUS OF EIGHT (8) INCHES.
2. ALL EXTERNAL GROUND RINGS ARE TO BE JOINED TOGETHER AND ALL CONNECTIONS MUST BE CADWELDED. NO LUGS OR CLAMPS WILL BE ACCEPTED.

H. FENCE/GATE

GROUND EACH GATE POST, CORNER POST AND GATE AS INDICATED ON THE DRAWINGS. GROUND CONNECTIONS TO FENCE POSTS AND ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY EXOTHERMIC WELD PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES, AND SPRAYED WITH COLD-GALVANIZED PAINT.

9. I.E.E.E. FALL POTENTIAL TESTS

A. FOR RAW LAND SITE

1. GROUND TESTS SHALL BE PERFORMED AS INDICATED ON DRAWINGS. A BIDDLE GROUND OHMMER OR THE METHOD OF USING TWO AUXILIARY GROUND RODS (AS DESCRIBED IN I.E.E.E. STANDARDS NO. 81-1983, PART 1) MAY BE USED. THE I.E.E.E. METHOD REQUIRES THE USE OF AN A.C. TEST CURRENT. THE AUXILIARY TEST RODS MUST BE SUFFICIENTLY FAR AWAY FROM THE ROD UNDER TEST SO THAT THE REGIONS IN WHICH THEIR RESISTANCE IS LOCALIZED DO NOT OVERLAP. THE TEST POINT WILL BE THE GROUND ROD AND WILL CONSIST OF THE THREE POINT FALL OF POTENTIAL MEGGER TEST METHOD, USING THE BIDDLE NULL-BALANCE EARTH TESTER (MEGGER #250220-2, OR EQUIVALENT)
2. CONTRACTOR TO CONDUCT GROUND RESISTANCE TEST IN THE FORMAT AS FOLLOWS:

B. EQUIPMENT PAD

1. FIRST TEST - SHALL BE WITH FOUR (4) GROUND RODS INSTALLED, ONE AT EACH CORNER OF THE PAD BUT NOT CONNECTED TO THE MAIN GROUNDING BUS. FURNISH WIRE TO CONNECT TEMPORARY CLAMP ALL FOUR (4) GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL FOUR (4) RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
2. SECOND TEST - SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST TEN (10) DAYS. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.

C. TOWER

1. FIRST TEST - SHALL BE WITH THREE (3) GROUND RODS INSTALLED (MINIMUM), EQUALLY SPACED AROUND THE TOWER FOUNDATION, BUT NOT CONNECTED TO THE SHELTER/PLATFORM/SKID PAD EXTERNAL GROUND RING. FURNISH WIRE TO CONNECT TEMPORARY CLAMP ALL THREE (3) GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL THREE (3) RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
2. SECOND TEST - SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST TEN (10) DAYS. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS, THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT EITHER ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.

D. EQUIPMENT PAD AND TOWER

1. AFTER THE EQUIPMENT PAD AND TOWER GROUND RESISTANCE TEST IS COMPLETED, CONTRACTOR SHALL TIE EQUIPMENT PAD EXTERNAL GROUND RING AND TOWER EXTERNAL GROUND RING TOGETHER. AFTER FIRST AND SECOND TEST ALL CONNECTIONS MUST BE MADE USING EXOTHERMIC WELD. NO LUGS OR CLAMPS WILL BE ACCEPTED.
2. AFTER ALL THE EXTERNAL GROUND RINGS ARE TIED TOGETHER, COMPLETE A MEGGER CHECK OF THE GROUND SYSTEM. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND.

10. GROUNDING RESISTANCE TEST REPORT

UPON COMPLETION OF THE TESTING FOR EACH SITE, A TEST REPORT SHOWING RESISTANCE IN OHMS WITH AUXILIARY POTENTIAL ELECTRODES AT 5 FEET AND 10 FEET INTERVALS UNTIL THE AVERAGE RESISTANCE STARTS INCREASING AND ALSO NOTE THAT 10-15 PHOTOS MUST BE TAKEN TO PROOF ENTIRE EXTERNAL GROUND RING SYSTEM BEFORE BACKFILL. TWO SETS OF TEST DOCUMENTS ARE OF THE INDEPENDENT TESTING SERVICE TO BE BOUND AND SUBMITTED WITHIN ONE (1) WEEK OF WORK COMPLETION.

SECTION 16503 - POLES, POSTS, AND STANDARDS

1. GENERAL

- A. LIGHTNING ROD AND EXTENSION PIPE INCLUDING ALL APPURTENANCES, TO BE FURNISHED BY OWNER, IF REQUIRED.
- B. PROVIDE TEMPORARY LIGHTING FOR TOWER AS PER FAA REGULATIONS DURING CONSTRUCTION, IF REQUIRED.
- C. GROUNDING
- GROUND TOWER WITH A MINIMUM OF #2 AWG TINNED SOLID BARE COPPER CONDUCTOR CADWELDED TO TABS (IF PRESENT), TWO (2) GROUNDING LEADS PER TOWER, NO EXOTHERMIC WELDS SHALL BE ATTACHED DIRECTLY TO THE TOWER STEEL.

SECTION 16745 - TELECOMMUNICATIONS WIRING COMPONENTS (COAXIAL ANTENNA CABLE)

1. GENERAL

- A. ALL MATERIALS, PRODUCTS OR PROCEDURES INCORPORATED INTO WORK SHALL BE NEW AND OF STANDARD COMMERCIAL QUALITY.
- B. CERTAIN MATERIALS AND PRODUCTS WILL BE SUPPLIED BY THE OWNER (REFER TO GENERAL CONDITIONS FOR THE LIST OF OWNER FURNISHED EQUIPMENT, MATERIALS AND SUPPLIES FOR THESE ITEMS), THE CONTRACTOR IS RESPONSIBLE FOR PICKUP AND DELIVERY OF ALL SUCH MATERIALS.
- C. ALL OTHER MATERIALS AND PRODUCTS SPECIFIED IN THE CONTRACT DOCUMENTS SHALL BE SUPPLIED BY THE CONTRACTOR.

2. MATERIALS:

- A. COAXIAL CABLE:
1. INSTALL COAXIAL CABLE AND TERMINATIONS BETWEEN ANTENNAS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS WITH COAXIAL CABLES SUPPORTED AT NO MORE THAN 3'-0" O.C. WEATHERPROOF ALL CONNECTORS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE (3) FEET IN EXCESS OF EQUIPMENT LOCATION UNLESS OTHERWISE STATED.
2. ALL COAX RUNS SHALL BE 1-5/8" UNLESS OTHERWISE INDICATED.
3. ANTENNA AND COAXIAL CABLE GROUNDING
- A. ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS)
4. COAXIAL CABLE IDENTIFICATION
- A. TO PROVIDE EASY IDENTIFICATION AND UNIFORM MARKING OF ANTENNA CABLING, MARK CABLE:
1. FIRST LOCATION IS AT THE END OF THE COAX NEAREST THE ANTENNA (WHERE THE COAXIAL CABLE AND JUMPER ARE CONNECTED).
2. SECOND LOCATION IS INSIDE THE EQUIPMENT SHELTER NEAR THE WAVEGUIDE ENTRY PORT OR BEFORE TERMINATION ON EXTERIOR SITES.
5. TESTING

IF REQUESTED BY CONSTRUCTION MANAGER, LESSEE SHALL PROVIDE AN INDEPENDENT TESTING AGENCY TO PERFORM THE COAXIAL SWEEP TEST & REPORT. THE CONTRACTOR SHALL PROVIDE ONE CLIMBER / QUALIFIED PERSONNEL TO ASSIST IN ANY REPAIRS AND WEATHERPROOFING ONCE THE TEST IS COMPLETE. THE CONTRACTOR SHALL PROVIDE LESSEE WITH A MINIMUM OF FORTY-EIGHT (48) HOURS NOTICE PRIOR TO THE TIME OF THE SWEEP TEST.



**SPECIFICATIONS
 WHALEN [458621]
 VERONA, WISCONSIN**

SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV

STAMPED PERMIT DWGS:	

STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV

CHECKED BY:	PCM
PLOT DATE:	11/11/2019
PROJECT #:	20090
FILE NAME:	SP-2.dgn

SHEET NUMBER:
SP-2

verizon
**Radio Frequency Exposure
 FCC Compliance Assessment**

Pre-Activation Post-Activation

SITE SPECIFIC INFORMATION			
Site Name	Whalen - B	Multi-Licensee Facility	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Street Address	825 County Highway M	Is Verizon a Significant Contributor to Co-Locator Areas Requiring Mitigation?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A
City, State, Zip	Verona, WI 53593	Verizon's Max % MPE (Predictive - Occupational)	0.7 %
Verizon's Max % MPE (Measured - Occupational)	N/A	Assessment Date	01/31/2019
Structure Type	Water Tank	Assessment Purpose	MODIFICATION
Broadcast (AM/FM/TV) Co-Locators	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Total Report Revisions	0
Total Access Points	1	Report Revision Date	N/A
Original Report Date	01/31/2019	<input type="checkbox"/> COMPLIANT AS DESIGNED <input type="checkbox"/> COMPLIANT PER RF SAFETY PLAN SUBMISSION <input checked="" type="checkbox"/> MITIGATION IS REQUIRED	

VERIZON'S WORST-CASE RF EMISSIONS IN ACCESSIBLE AREAS AT THIS FACILITY	
<input checked="" type="checkbox"/>	BELOW the General Population MPE limit
<input type="checkbox"/>	ABOVE the General Population MPE limit and BELOW the Occupational MPE limit
<input type="checkbox"/>	ABOVE the Occupational MPE limit and BELOW 10x the Occupational MPE limit
<input type="checkbox"/>	ABOVE 10x the Occupational MPE limit

Final Compliant Configuration						
Access Point(s)	GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO	BARRIER/ MARKER
	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> dimensions
Alpha	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> dimensions
Beta	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> dimensions
Gamma	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> dimensions

NOTE: The table above represents EVERY compliance item that MUST be implemented at this location; also in Sec. 4 (B)

Additional Compliance Requirements(s): N/A			
Consultant Legal Name	Telnet Inc.	Phone/Fax	(301) 840 7110 ext. 61062 or 61608
Address	7630 Standish Place, Rockville, MD 20855		

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Final Compliant Configuration						
Access Point(s)	GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO	BARRIER/ MARKER
	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> dimensions
Alpha	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> dimensions
Beta	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> dimensions
Gamma	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> dimensions

NOTE: The table above represents EVERY compliance item that MUST be implemented at this location.

c. Signage/Barrier Installation Detail

Final Compliant Configuration						
Access Point(s)	GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO	BARRIER/ MARKER
	<input checked="" type="checkbox"/> [1] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [1] <input type="checkbox"/> [#]	<input type="checkbox"/> dimensions
Alpha	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> dimensions
Beta	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> dimensions
Gamma	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> dimensions
	ADD REM	ADD REM	ADD REM	ADD REM	ADD REM	ADD ONLY

NOTE: The table represents either the signage/barriers installed / removed OR items required by the market (if mitigation is not installed by consultant/vendor).

SPECIAL MITIGATION INSTRUCTIONS	
Items to be Installed	Access Door: Install NOC and Guidelines signs
Items to be Removed	N/A
Items to be Repaired/Replaced	N/A

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PRELIMINARY DWGS:	INI:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV
CHECKED BY:	PCM
PLOT DATE:	11/11/2019
PROJECT #:	20090
FILE NAME:	RF-1.dgn
SHEET NUMBER:	

R:\20090\20090\CAD\RF1\CD\RF-1.dgn

SHEET TITLE:

PRELIMINARY DWGS	INI:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV

STAMPED PERMIT DWGS:	

STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV

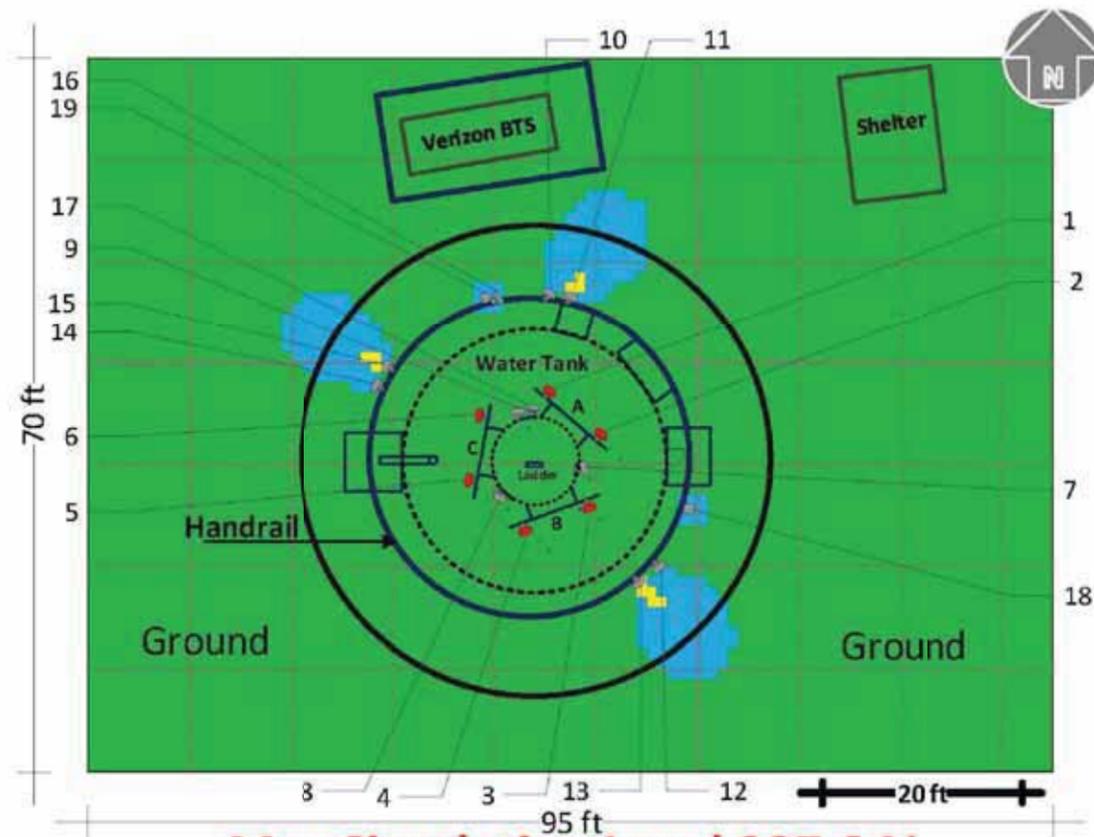
CHECKED BY:	PCM
PLOT DATE:	11/11/2019
PROJECT #:	20090
FILE NAME:	RF-2.dgn

SHEET NUMBER:
RF-2

a. Predictive Model: All Transmitters

Is the area being modeled completely INACCESSIBLE to members of the general population (including untrained maintenance workers)? YES NO

Reference Plane: Top of Water tank Level



Max Simulation Level 287.6 %

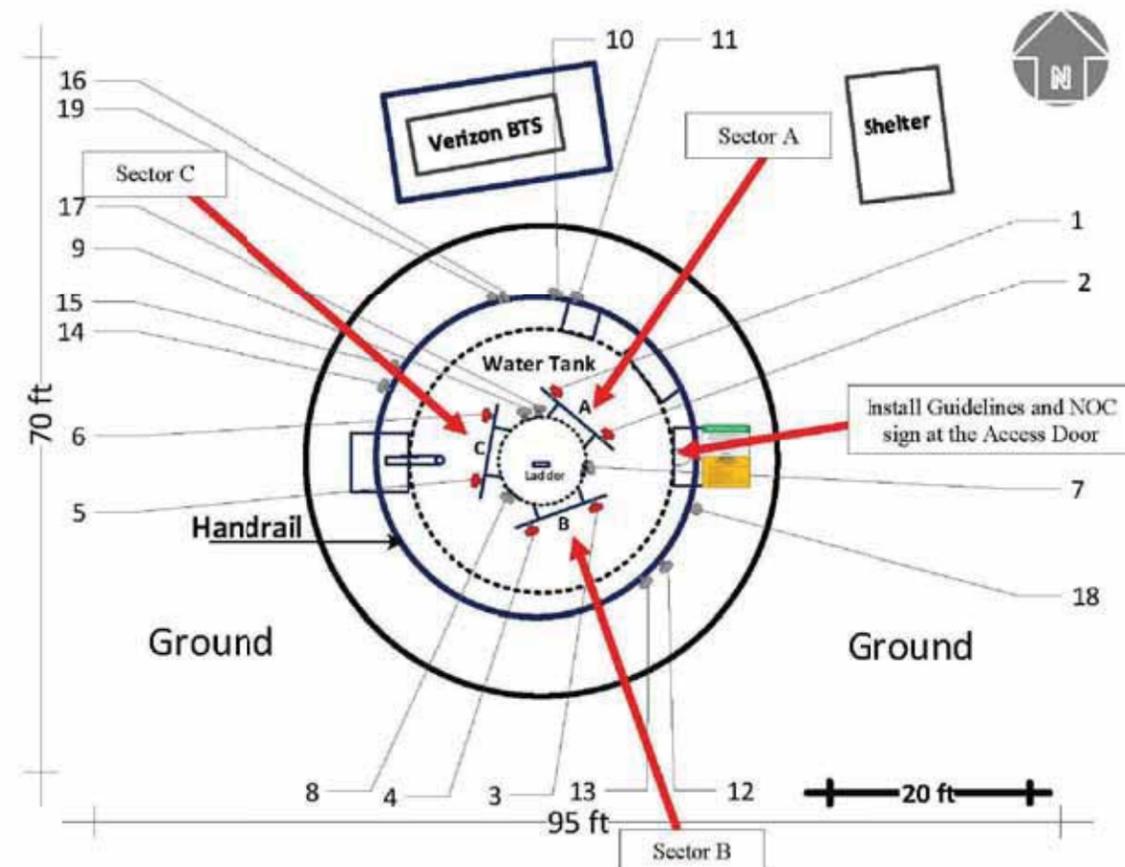
CARRIER ANTENNA: VERIZON AT&T SPRINT T-MOBILE METRO PCS CRICKET UNKNOWN

TELNET, INC., 7630 Standish Place, Rockville, MD 20855; Phone: 888-883-5638 / Fax: 301-840-0162; Web: www.Telnet-Inc.com

0% - 20% Occ. MPE 20% - 100% Occ. MPE ≥ 100% Occ. MPE ≥ 1000% Occ. MPE

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b. Signage/Barrier Diagram



CARRIER ANTENNA: VERIZON AT&T SPRINT T-MOBILE METRO PCS CRICKET UNKNOWN

TELNET, INC., 7630 Standish Place, Rockville, MD 20855; Phone: 888-883-5638 / Fax: 301-840-0162; Web: www.Telnet-Inc.com

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NOTE:
 FOR REFERENCE ONLY.
 REFER TO REPORT BY OTHERS.



EXISTING ACCESS DRIVE
LOOKING NE FROM HWY M



SITE OVERVIEW
LOOKING NORTH



PROPOSED LEASE AREA LOCATION
LOOKING WEST FROM EAST SIDE OF PROPOSED LEASE AREA



EXISTING MULTI-METER RACK
LOOKING NORTH FROM SOUTH SIDE OF WATER TANK

SITE PHOTOS
WHALEN [458621]
VERONA, WISCONSIN

SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGU
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV

STAMPED PERMIT DWGS:

STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV

CHECKED BY:	PCM
PLOT DATE:	11/11/2019
PROJECT #:	20090
FILE NAME:	P-1.dgn

SHEET NUMBER:

P-1

NOTICE TO CONTRACTOR - ENVIRONMENTAL CONDITIONS/RESTRICTIONS

Submarket	West Region (LWI)
Site Name	Whalen458621
Sheet Address	823 County Highway M
City/State	Verona, Wisconsin 53593
Territory Compliance Reviewer	Robert Kozlowski
Date	11/29/18

Note: Verizon Wireless makes no representation or warranty as to the accuracy or completeness of the information below. Company is fully responsible for its own compliance with all applicable laws and regulations. To the extent that Company becomes aware of any additional environmental conditions, it agrees to immediately inform Verizon Wireless.

The Company's response to this construction bid shall constitute the Company's acknowledgement and acceptance of the stated conditions and restrictions at the site.

The following environmental conditions have been identified at the project site:

Environmental Condition	Description and Location of Contaminant
<input checked="" type="checkbox"/> Contaminated soil	LEAD: Lead was detected in the soil below the background threshold value. See the attached table of Analytic Results and Site Plan with Sample Locations from the Limited Soil & Paint Sampling.
<input type="checkbox"/> Contaminated groundwater	
<input type="checkbox"/> Presence of asbestos	
<input type="checkbox"/> Presence of lead-based paint	LEAD: Lead was not detected in the paint sample collected from the water tower; therefore, the paint covering the water tower is not considered lead-containing or LBP.
<input checked="" type="checkbox"/> Other: Vicinity Surface Water Features	A culvert and associated drainage ditch are located approximately 250 feet west of the Verizon Wireless lease area and approximately 75 feet southwest of the access and utility easement. See attached Site Plan from the Phase I ESA.

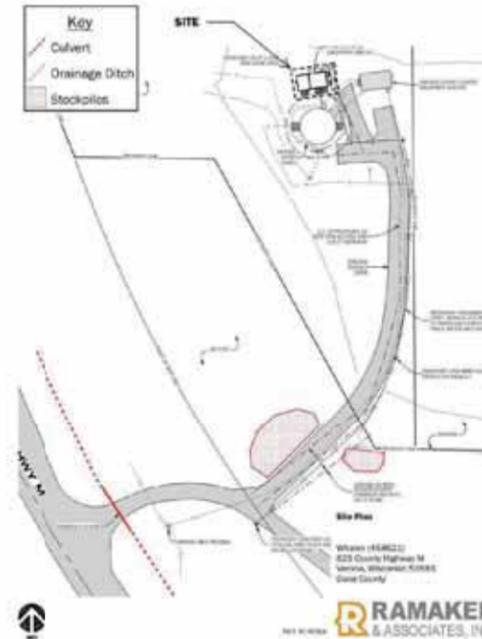
Applicable legal requirements or Verizon Wireless policies and procedures may require that these conditions be communicated to all parties involved in the construction activities at the project site. To the extent that the scope of the project work includes measures to address these conditions, details of the work to be performed shall be specified in the project documents and/or the Authorization Letter.

Environmental conditions affecting scope of work. [insert description] (see project documents for detailed specifications)

Soil Erosion and Sediment Controls/ Staging and Stockpiling of Soil. To prevent any adverse impact to the surface water features, the appropriate use of silt fences and/or other erosion control best management practices must be implemented prior to construction, and maintained throughout construction. Construction-related staging and placement of excavated soils must be performed in a manner that will not adversely impact the surface water features.

Company is required to comply fully with all applicable environmental, industrial hygiene, and worker health and safety laws and regulations; Verizon Wireless' directions and/or instructions contained in this Notice to Contractor. Company shall retain qualified, appropriately specialized (and/or licensed, as required) and adequately insured environmental firms for the completion of specialized work as applicable. Company shall evaluate whether a Health and Safety Plan (HASP) is warranted. Verizon Wireless shall have the final authority to approve the selection of such environmental firms performing services on its behalf. The construction bid package shall include qualifications of proposed firms with respect to the following required services:

PROCEDURE: This signed original is to be returned to VZW Construction and uploaded to FUZE Site Project Management (SPM) Module along with the EES Close-Out Notification.



Environmental Services Required
<input checked="" type="checkbox"/> Check All That Apply
<input type="checkbox"/> Asbestos abatement
<input type="checkbox"/> Lead-based paint abatement
<input type="checkbox"/> Hazardous or special waste transportation and disposal
<input type="checkbox"/> Excavation, drilling or advancement through and staging/stockpiling of contaminated media
<input type="checkbox"/> Other:

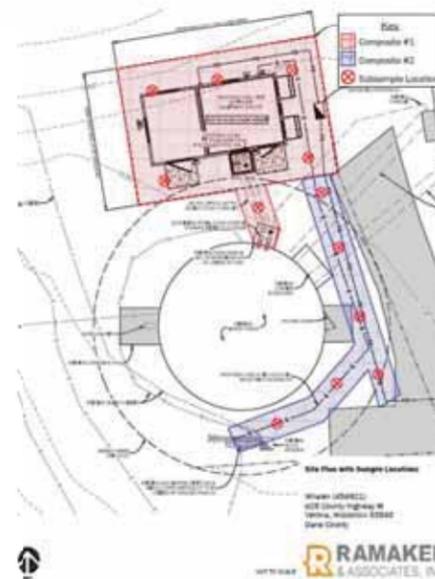
Company shall ensure at all times that only appropriately trained, qualified, and licensed workers perform the required environmental services. It is the responsibility of Company to adhere to the following restrictions in response to the above environmental conditions.

An outside environmental "oversight" consultant is required if transportation and disposal of wastes is carried out in accordance with applicable laws, regulations and the Verizon Wireless Environmental Compliance Program. THE USE OF SUCH CONSULTANTS IS MANDATORY.

Site Restrictions
<input checked="" type="checkbox"/> Check All That Apply
<input type="checkbox"/> Restrictions on excavations/construction methods. Description:
<input type="checkbox"/> Diesel Restricted Site - Diesel/Gasoline fuel prohibited at construction site except in fuel tank of vehicle. Use of a generator plug for a diesel or gasoline portable emergency generator is prohibited. (Meets NSTD399)
<input type="checkbox"/> Diesel Sensitive Site - Natural Gas or Liquid Propane Generator (Meets NSTD399 generator solution)
<input type="checkbox"/> Diesel Sensitive Site - Tertiary Containment Generator - Diesel Generator inside shelter (Meets NSTD399 generator solution)
<input type="checkbox"/> Diesel Sensitive Site - Tertiary Containment Generator - Diesel Enhanced Enclosure (DEE) (Meets NSTD399 generator solution)
<input type="checkbox"/> Diesel Sensitive Site - Tertiary Containment Generator - Utilize a Diesel DC Polar Power Unit with an EMI Containment Plan and SPI Petro Pipe (Meets NSTD399 generator solution)
<input type="checkbox"/> Refueling Plan - Refueling of standby or portable emergency generator must comply with Refueling Plan. (Meets NSTD399 generator solution)
<input type="checkbox"/> Portable Berm System Containment required during use of portable emergency generator.
<input type="checkbox"/> with Petro Pipe
<input checked="" type="checkbox"/> Other: Soil Erosion and Sediment Controls/ Staging and Stockpiling of Soil. To prevent any adverse impact to the surface water features, the appropriate use of silt fences and/or other erosion control best management practices must be implemented prior to construction, and maintained throughout construction. Construction-related staging and placement of excavated soils must be performed in a manner that will not adversely impact the surface water features.

Contractor's Signature	
Contractor's Printed Name	
Date	
Company Name	
Company Address	
Phone Number	

Parameter	RCLs (mg/kg)				Background Threshold Value (mg/kg)
	Composite #1 (mg/kg)	Composite #2 (mg/kg)	NR 730 Direct Contact Non-Industrial RCLs	NR 730 Direct Contact Industrial RCLs	
Lead	12.7	18.6	400	800	27
					51.6



NOTE:
FOR REFERENCE ONLY.
REFER TO REPORT BY OTHERS.

NOTICE TO CONTRACTOR
WHALEN [458621]
VERONA, WISCONSIN

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV
CHECKED BY:	
PCM	
PLOT DATE:	
11/11/2019	
PROJECT #:	
20090	
FILE NAME:	
N-1.dgn	

EXHIBIT C

Diagram of Placement of Antenna Facilities on Tower; Description of Antenna Facilities

RF EMISSIONS REPORT REQUIRED

YES NO

Date: 01/31/19

HYBRID CABLE INFO

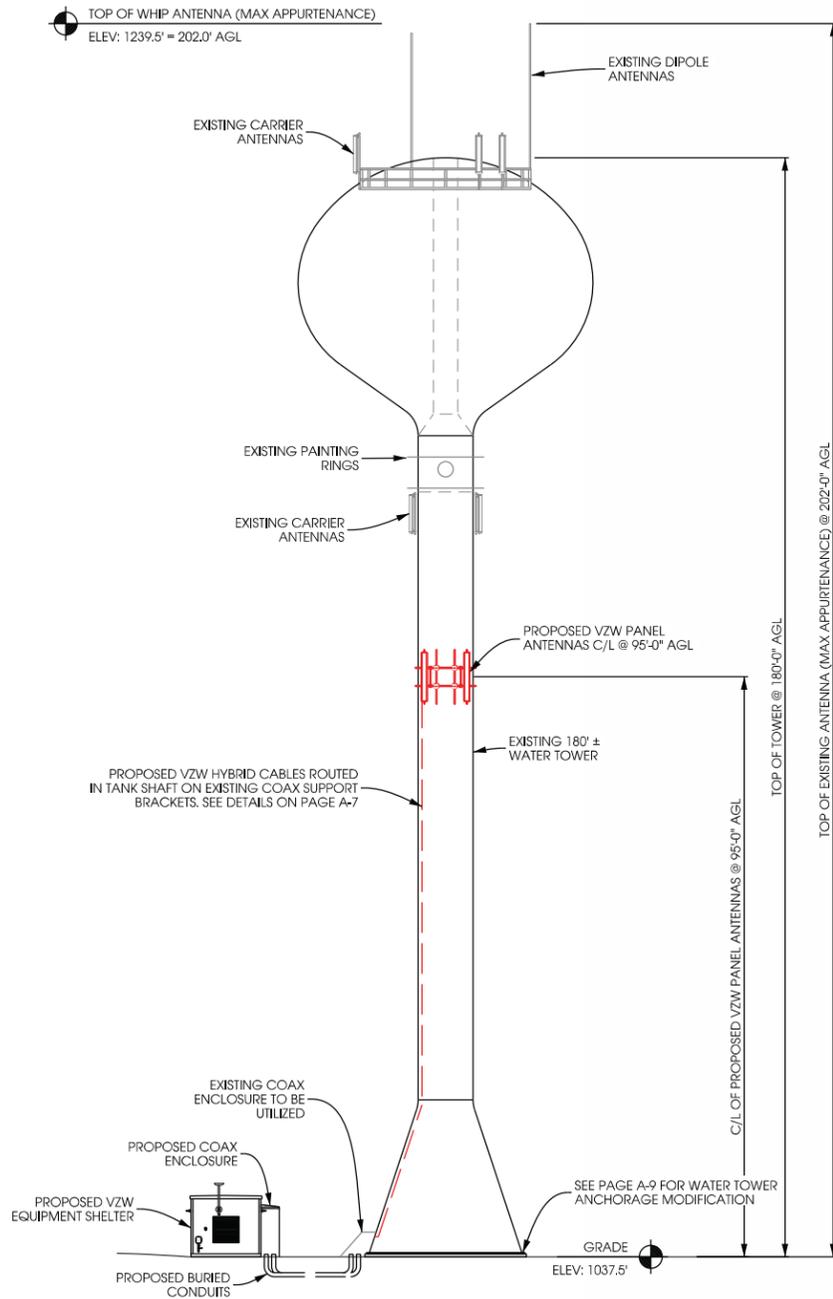
QUANTITY	3
DIST. FROM GROUND SURGE PROTECTOR TO TOWER CENTER	50±
LENGTH FROM T.O.C. TO TOWER SURGE PROTECTOR C/L	95±
HORIZONTAL DISTANCE TO SURGE PROTECTOR	25±
TOTAL HYBRID CABLE LENGTH TO SURGE PROTECTOR	170±

NOTES:

- 1.) CONTRACTOR TO VERIFY HEIGHT AND DIRECTION OF ANTENNA WITH PROJECT MANAGER & FINAL RF DESIGN.
- 2.) HYBRID CABLE LENGTH NOT TO EXCEED 367'.
- 3.) HYBRID JUMPER CABLE LENGTH NOT TO EXCEED 30'.
- 4.) IF CABLING LENGTH EXCEEDS MAXIMUM ALLOWED CONTRACTOR SHALL CONTACT CLIENT AND ENGINEER TO RESOLVE PRIOR TO CONSTRUCTION.
- 5.) REFER TO STRUCTURAL REVIEW NOTE ON T-1.

TOWER MODIFICATION NOTE:

REFER TO TOWER MODIFICATION DRAWINGS COMPLETED BY EDGE CONSULTING ENGINEERS, INC., #20090, DATED 01/16/19, FOR MODIFICATION DETAILS.



A TOWER PROFILE (WEST ELEVATION)

SCALE: 11" x 17" - 1" = 30'-0"
22" x 34" - 1" = 15'-0"



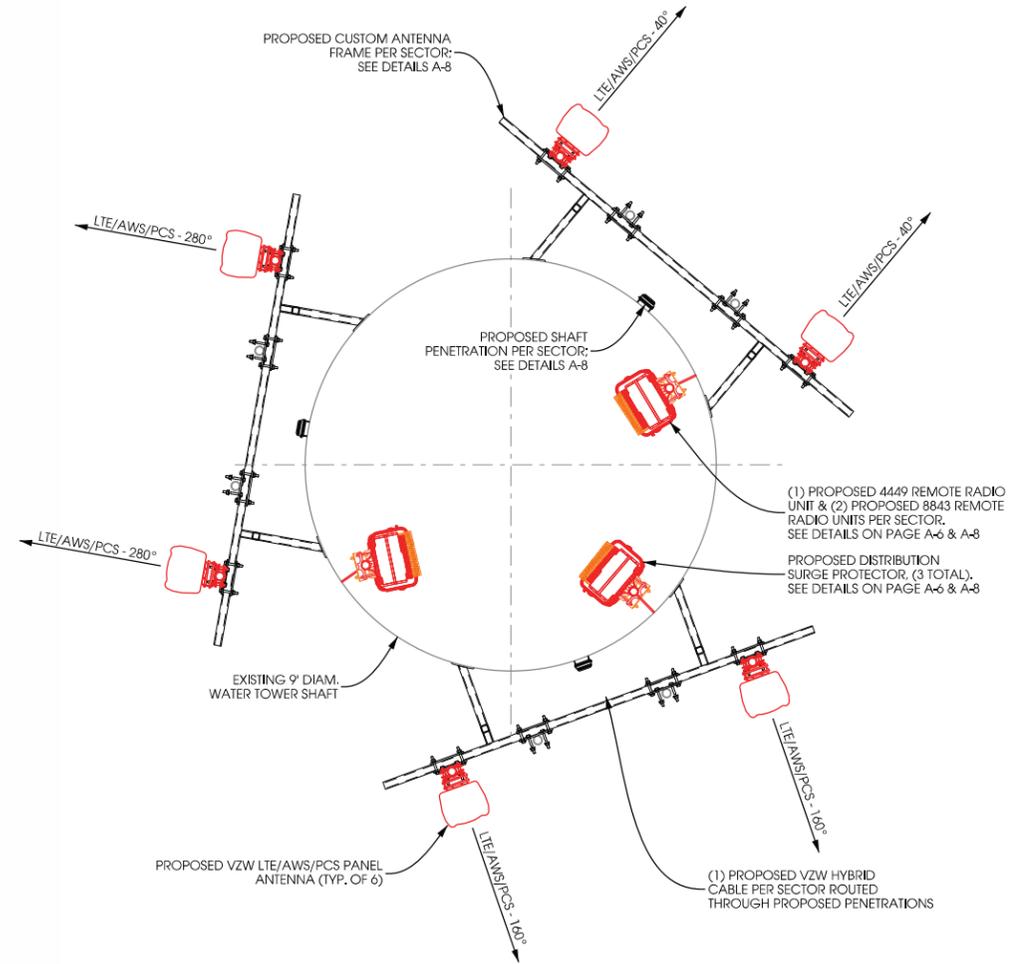
EXISTING TOWER PROFILE (LOOKING WEST)

LEGEND:

- PROPOSED LTE PANEL ANTENNA
- PROPOSED DISTRIBUTION SURGE PROTECTOR
- PROPOSED RRU 4449 REMOTE RADIO UNIT
- PROPOSED RRU 8843 REMOTE RADIO UNIT

NOTES:

- 1.) ALL ANTENNA AZIMUTHS REFERENCED FROM TRUE NORTH.
- 2.) SEE PAGE A-6 FOR INSTALLATION REQUIREMENTS OF ANTENNAS AND EQUIPMENT.



B ANTENNA & EQUIPMENT ORIENTATION

SCALE: NTS

**TOWER ELEVATION
WHALEN [458621]
VERONA, WISCONSIN**

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV
STAMPED PERMIT DWGS:	

STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV

CHECKED BY:
PCM
PLOT DATE:
11/11/2019
PROJECT #:
20090
FILE NAME:
A-1.dgn

SHEET NUMBER:

Project Detail		Location Information	
Site Type	MACRO	Siterra Site ID#	
Carrier Aggregation	true	Site Name	Whalen - B
MPT Id	527643	Siterra SR#	
eCIP-0	false	E-NodeB ID#	209523
Project Name	MANUAL Initial Build ENTRY -	PSLCA	458621
REDS Project ID	1381461	Switch Name	
Project ID	15308787	Tower Owner	
Site Traker Project ID	P-523523	Tower Type	Tank
REDS Project Scope		Street Address	825 County Highway M
		City	Verona
		State	WI
		Zip Code	53593
		County	Dane
		Latitude	42.97498611 / 42° 58' 29.94" N
		Longitude	-89.52506944 / 89° 31' 30.24" W

Antenna Summary

Added Antennas														
700 LTE	850 CDM A	850 LTE	1900 CDM A	1900 LTE	2100 LTE	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	QTY
YES				YES	YES	QUINTEL USA INC	QS8656-5	95	99	280(03),160(02),40(01)	true	true	PHYSICAL	6

Removed Antennas														
700 LTE	850 CDM A	850 LTE	1900 CDM A	1900 LTE	2100 LTE	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	QTY

Retained Antennas														
700 LTE	850 CDM A	850 LTE	1900 CDM A	1900 LTE	2100 LTE	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	QTY

Added: 6 Removed: 0 Retained: 0

NOTES:
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Equipment Summary

Added Non Antennas													
Equipment Type	700 LTE	850 CDMA	850 LTE	1900 CDMA	1900 LTE	2100 LTE	Location	Make	Model	Cable Length	Cabl Size	Inst. Type	Quantity
OVP Box	YES				YES	YES	Tower	RAYCAP	3300			PHYSICAL	3
Hybrid Cable	YES				YES	YES	Tower	COMMSCOPE	HYBRID	200	1.5	PHYSICAL	3
OVP Box	YES				YES	YES	Shelter	RAYCAP	3300			PHYSICAL	3
RRU					YES	YES	Tower	Ericsson	8843			PHYSICAL	6
RRU	YES						Tower	Ericsson	4449			PHYSICAL	3

Removed Non Antennas													
Equipment Type	700 LTE	850 CDMA	850 LTE	1900 CDMA	1900 LTE	2100 LTE	Location	Make	Model	Cable Length	Cabl Size	Inst. Type	Quantity

Retained Non Antennas													
Equipment Type	700 LTE	850 CDMA	850 LTE	1900 CDMA	1900 LTE	2100 LTE	Location	Make	Model	Cable Length	Cabl Size	Inst. Type	Quantity

NOTES:
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Services

	700 MHz LTE			
	Current Version:	Proposed Version:		
		0002		
		01	02	03
Sector		40	160	280
Azimuth		209523	209521	209523
Cell/ENode B ID		QS8656-5 V3- OF 757MHz_02DT_PORT1 (1548396)	QS8655-5 V3- OF 757MHz_02DT_PORT1 (1548396)	QS8656-5 V3- OF 757MHz_02DT_PORT1 (1548396)
Antenna Model		QUINTEL USA INC	QUINTEL USA INC	QUINTEL USA INC
Antenna Make		95	95	95
Centerline(Ft)		0	0	0
Mechanical DT(Deg.)		2	2	2
Electrical DT		99	99	99
Tip Height				
TMA make				
TMA model				
RRU make		Ericsson	Ericsson	Ericsson
RRU model		4449	4449	4449
# of Tx, Rx Lines		4.4	4.4	4.4
Position				

	2100 MHz LTE			
	Current Version:	Proposed Version:		
		0002		
		01	02	03
Sector		40	160	280
Azimuth		209523	209521	209523
Cell/ENode B ID		QS8656-5 V3- OF 2140MHz_02DT_PORT 3 (1528527)	QS8655-5 V3- OF 2140MHz_02DT_PORT 3 (1528527)	QS8656-5 V3- OF 2140MHz_02DT_PORT 3 (1528527)
Antenna Model		QUINTEL USA INC	QUINTEL USA INC	QUINTEL USA INC
Antenna Make		95	95	95
Centerline(Ft)		0	0	0
Mechanical DT(Deg.)		2	2	2
Electrical DT		99	99	99
Tip Height				
TMA make				
TMA model				
RRU make		Ericsson	Ericsson	Ericsson
RRU model		2x8843	2x8843	2x8843
# of Tx, Rx Lines		4.4	4.4	4.4
Position				

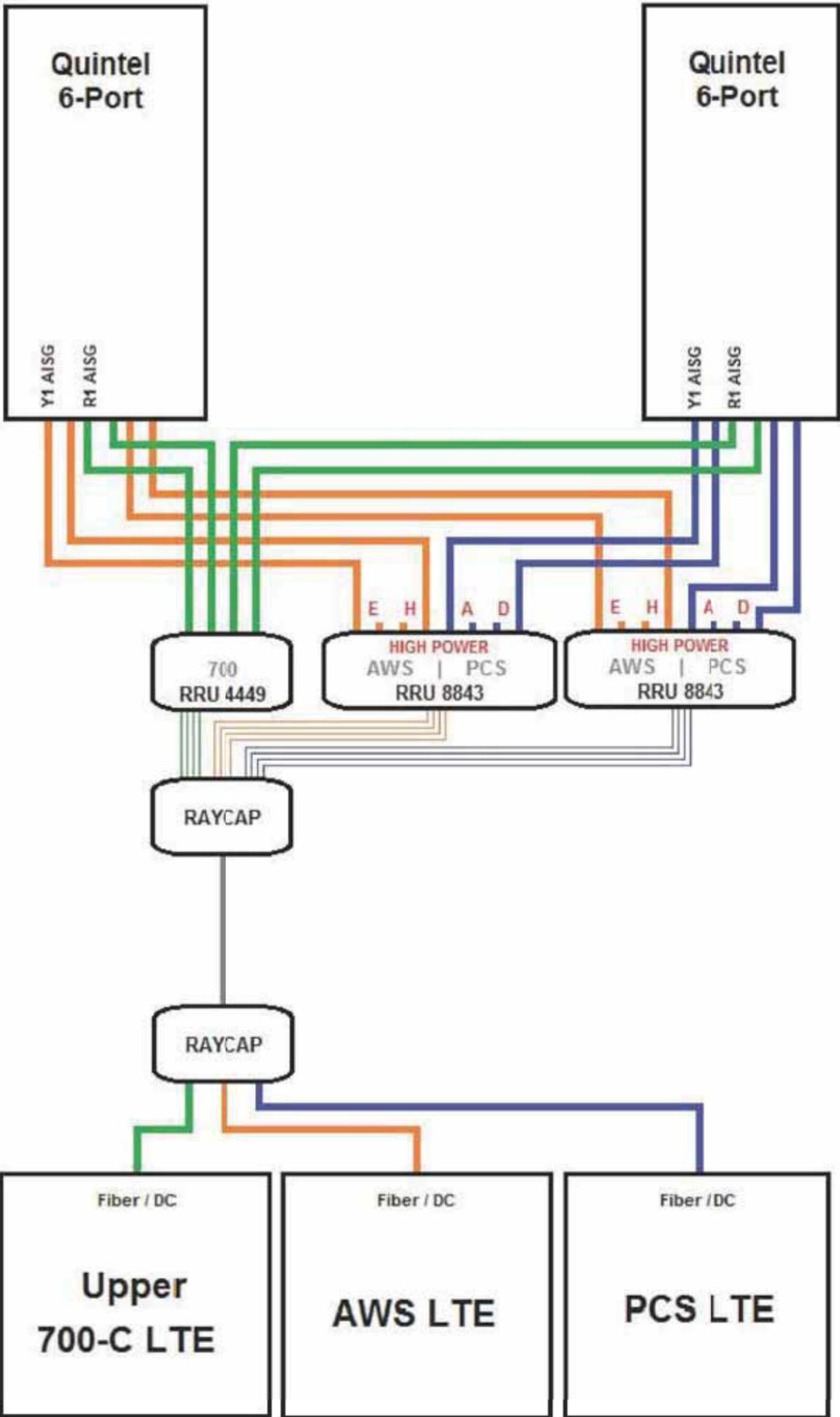
	1900 MHz LTE			
	Current Version:	Proposed Version:		
		0002		
		01	02	03
Sector		40	160	280
Azimuth		209523	209521	209523
Cell/ENode B ID		QS8656-5 V3- OF 1950MHz_02DT_PORT 3 (1528491)	QS8655-5 V3- OF 1950MHz_02DT_PORT 3 (1528491)	QS8656-5 V3- OF 1950MHz_02DT_PORT 3 (1528491)
Antenna Model		QUINTEL USA INC	QUINTEL USA INC	QUINTEL USA INC
Antenna Make		95	95	95
Centerline(Ft)		0	0	0
Mechanical DT(Deg.)		2	2	2
Electrical DT		99	99	99
Tip Height				
TMA make				
TMA model				
RRU make		Ericsson	Ericsson	Ericsson
RRU model		2x8843	2x8843	2x8843
# of Tx, Rx Lines		4.4	4.4	4.4
Position				

	AWS			
	Current Version:	Proposed Version:		
		0002		
		01	02	03
Sector		40	160	280
Azimuth		209523	209521	209523
Cell/ENode B ID		QS8656-5 V3- OF 2140MHz_02DT_PORT 3 (1528527)	QS8655-5 V3- OF 2140MHz_02DT_PORT 3 (1528527)	QS8656-5 V3- OF 2140MHz_02DT_PORT 3 (1528527)
Antenna Model		QUINTEL USA INC	QUINTEL USA INC	QUINTEL USA INC
Antenna Make		95	95	95
Centerline(Ft)		0	0	0
Mechanical DT(Deg.)		2	2	2
Electrical DT		99	99	99
Tip Height				
TMA make				
TMA model				
RRU make		Ericsson	Ericsson	Ericsson
RRU model		2x8843	2x8843	2x8843
# of Tx, Rx Lines		4.4	4.4	4.4
Position				

ANTENNA CONFIGURATION WHALEN [458621] VERONA, WISCONSIN

SHEET TITLE:

PRELIMINARY DWGS	INI:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV
CHECKED BY:	PCM
PLOT DATE:	11/11/2019
PROJECT #:	20090
FILE NAME:	A2.dgn



NOTES:
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ANTENNA CONFIGURATION
WHALEN [458621]
VERONA, WISCONSIN

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90s REV1 - 10/18/18	CV
CD 90s REV2 - 01/21/19	AGJ
CD 90s REV3 - 04/22/19	JAH
CD 90s REV4 - 08/08/19	CV
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
FINAL CD REV1 - 10/01/19	CV
FINAL CD REV2 - 11/12/19	CV
CHECKED BY:	PCM
PLOT DATE:	11/11/2019
PROJECT #:	20090
FILE NAME:	A-3.dgn

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